

A G E N D A
JAMES CITY COUNTY WETLANDS BOARD
REGULAR MEETING
County Government Center, Building F
101 Mounts Bay Road, Williamsburg, VA 23185
April 10, 2019
5:00 PM

A. CALL TO ORDER

B. ROLL CALL

C. MINUTES

1. Minutes from March 13, 2019, regular meeting

D. PUBLIC HEARINGS

1. WJPA 19-0011 / VMRC 19-0033 : 1636 Harbor Road

E. BOARD CONSIDERATIONS

F. MATTERS OF SPECIAL PRIVILEGE

G. ADJOURNMENT

ITEM SUMMARY

DATE: 4/10/2019
TO: Wetlands Board
FROM: Wetlands Board Secretary
SUBJECT: Minutes from March 13, 2019, regular meeting

ATTACHMENTS:

	Description	Type
☐	Minutes	Minutes

REVIEWERS:

Department	Reviewer	Action	Date
Wetlands Group	Woolson, Michael	Approved	4/4/2019 - 8:54 AM
Wetlands Group	Small, Toni	Approved	4/4/2019 - 9:05 AM
Publication Management	Burcham, Nan	Approved	4/4/2019 - 9:16 AM
Wetlands Group	Secretary, Wetland	Approved	4/4/2019 - 9:21 AM

MINUTES
JAMES CITY COUNTY WETLANDS BOARD
REGULAR MEETING
County Government Center, Building F
101 Mounts Bay Road, Williamsburg, VA 23185
March 13, 2019
5:00 PM

A. CALL TO ORDER

The Wetlands Board meeting for March 13, 2019, was Called to Order.

The responsibility of this Board is to carry out locally the Commonwealth policy to preserve the wetlands and to accommodate economic activity so as to prevent its despoliation.

B. ROLL CALL

Board Members Present:

John Hughes, Chair
William Apperson, Vice Chair
David Gussman
Charles Roadley
Robert Lukens, alternate

Board Members Absent:

Larry Waltrip

County Staff Present:

Michael Woolson, Secretary to the Board, Senior Watershed Planner
Toni Small, Director, Stormwater and Resource Protection
Liz Parman, Assistant County Attorney
Trevor Long, Watershed Planner
Janice Petty, Stormwater Assistant

C. MINUTES

1. December 12, 2018, Regular Meeting Minutes

Approved as written.

D. PUBLIC HEARINGS

1. WJPA 19-0001 : VMRC 19-0044 - 704 Arlington Island Road

Watershed Planner, Trevor Long, presented the permit request submitted by Daniel Winall, Water's Edge Construction, on behalf of Kenneth Latimer to protect the shoreline by installing a rip rap revetment on the property located at 704 Arlington Island Road, within the Diascund Creek watershed. The property is further identified as James City County Parcel No. 0931100006. Mr. Long's presentation described the current site conditions, proposed construction and proposed mitigation. Staff recommended approval of the permit with conditions.

The Board deliberated the pros and cons of this permit.

Mr. Hughes opened the Public Hearing.

A. Mr. Daniel Winall, Water's Edge Construction, outlined the project and was available to answer all questions from the Board.

Mr. Hughes closed the Public Hearing, as no one else wished to speak.

Mr. Apperson made a motion to adopt the Resolution to grant the permit for Wetlands Board Case No. WJPA 19-0001 / VMRC 19- 0044 at 704 Arlington Island Road.

A motion to Approve w/Conditions was made by William Apperson, the motion result was:

AYES: 5 NAYS: 0 ABSTAIN: 0 ABSENT: 0

Ayes: Hughes, Apperson, Gussman, Roadley, Lukens

E. BOARD CONSIDERATIONS

Mr Apperson thanked Mr. Daniel Winall for the quality of the work he has seen his company, Water's Edge Construction, perform over the last ten years.

F. MATTERS OF SPECIAL PRIVILEGE

Ms. Toni Small, Director of Stormwater & Resource Protection for James City County was introduced.

G. ADJOURNMENT

The meeting adjourned at 5:15 p.m.

ITEM SUMMARY

DATE: 4/10/2019
TO: Wetlands Board
FROM: Michael Woolson, Senior Watershed Planner
SUBJECT: WJPA 19-0011 : VMRC 19-0033 - 1636 Harbor Road

The Governor's Land Foundation has applied for a wetland permit to perform an emergency bulkhead repair at 1636 Harbor Rd, JCC Parcel No. 4320700001A.

ATTACHMENTS:

	Description	Type
☐	Staff Report	Staff Report
☐	Resolution	Resolution
☐	Presentation	Presentation
☐	Joint Permit Application	Backup Material
☐	Public Hearing Notice	Backup Material
☐	APO Notification Letter	Backup Material
☐	APO Notification List	Backup Material

REVIEWERS:

Department	Reviewer	Action	Date
Wetlands Group	Woolson, Michael	Approved	4/4/2019 - 8:55 AM
Wetlands Group	Small, Toni	Approved	4/4/2019 - 9:04 AM
Publication Management	Burcham, Nan	Approved	4/4/2019 - 9:15 AM
Wetlands Group	Secretary, Wetland	Approved	4/4/2019 - 9:21 AM

**WETLANDS BOARD CASE No. WJPA 19-0011/VMRC 19-0344. 1636 Harbor Road
Staff Report for the April 10, 2019, Wetlands Board Public Hearing**

This staff report is prepared by James City County Stormwater and Resource Protection to provide information to the Wetlands Board to assist them in making a recommendation on this assessment. It may be useful to members of the general public interested in this assessment.

EXISTING SITE DATA AND INFORMATION

Applicant: Ms. Lisa Smith, Governor's Land Foundation, Inc.

Agent: None

Location: 1636 Harbor Road

Parcel: Open Space, The Harbor, Governor's Land Marina

Parcel Identification No.: 4320700001A

Watershed: James River (JL30)

Floodplains: Zone A - The special flood hazard area subject to the 1% annual chance flood. No base flood elevation determined.

Zone VE - The special flood hazard area subject to 1% annual chance flood. Coastal flood zone with velocity hazard.

FEMA Coastal AE Zone

Proposed Activity: Replacement of a bulkhead

Wetland Impacts: Zero vegetated or non-vegetated wetlands subject to the Local Wetlands Board jurisdiction.

Staff Contact: Michael D. Woolson, Senior Watershed Planner Phone: 253-6823

PROJECT DISCUSSION

Ms. Lisa Smith, Governor's Land Foundation, Inc., has applied for a Wetlands Permit to install an emergency bulkhead repair on property located at 1636 Harbor Road, within the James River and Gordon Creek watershed. The property is further identified as James City County Tax Map Parcel No. 4320700001A.

The original bulkhead was constructed in 1994 and remained functional until 2017 when staff was approached due to a blowout in the bulkhead near the fuel pumps. This bulkhead failure was repaired immediately. In 2018, staff was approached again about another bulkhead blowout located behind a citizen's property, which was also repaired. The Governor's Land Foundation is proposing to replace the entirety of the marina bulkhead.

Even though there are no wetland impacts within this Board's jurisdiction, the commercial nature of the application is not a permitted use. Therefore, an application for a permit must be submitted through the Virginia Marine Resources Commission and processed by the local Wetlands Board. It is for this reason Case No. WJPA-19-0011 appears before the Board.

MITIGATION DISCUSSION

As published in the *Virginia Register* on July 11, 2005, the revised Wetland Mitigation Compensation Policy and Supplemental Guidelines, Regulation 4VAC 20-390-10 et seq., Virginia, as a Chesapeake Bay Program partner, is committed to “achieve a no-net loss of existing wetlands acreage and function in the signatories’ regulatory programs.” In order for a proposed project to be authorized to impact wetlands and compensate for the wetland loss in some prescribed manner, the following three criteria must be met:

1. All reasonable mitigative efforts, including alternative siting, which would eliminate or minimize wetland loss or disturbance must be incorporated in the proposal;
2. The proposal must clearly be water dependent in nature; and
3. The proposal must demonstrate clearly its need to be in the wetlands and its overwhelming public and private benefits.

If the proposed project cannot meet one or more of the above criteria, the project must be denied or must occur in areas outside of wetlands. Should it satisfy all three criteria, however, compensation for the wetland loss is required. The sequence of acceptable mitigation options should be as follows: on-site, off-site within the same watershed, mitigation bank(s) in the same watershed or a payment of an in lieu fee. If compensation is required, it should be a condition of the permit.

Staff has reviewed this application against the mitigation policy and finds that this project meets the three criteria outlined in the policy and there will not be a loss of any vegetated tidal wetlands.

STAFF RECOMMENDATIONS

Staff recommends approval of the application. Should the Board wish to approve the application, staff suggests the following conditions be incorporated into the approval:

1. The applicant must obtain all other necessary local, state, and/or federal permits required for the project;
2. All development activities located in the special flood hazard area shall comply with Article VI, Division 3, Floodplain Area Regulations of the James City County Zoning Ordinance and receive all required approvals and permits prior to commencement of such activities;
3. The Wetlands Permit for this project shall expire on April 10, 2020 if construction has not begun; and
4. If an extension of the permit is needed, a written request shall be submitted to the Stormwater and Resource Protection Division no later than February 27, 2020, six weeks prior to the expiration date.

MDW/nb
WJPA19-0011-VMRC19-0344

Attachment:

1. Joint Permit Application

RESOLUTION

CASE NO. WJPA 19-0011/VMRC 19-0344. 1636 HARBOR ROAD

JAMES CITY COUNTY WETLANDS PERMIT

WHEREAS, Ms. Lisa Smith (the “Applicant”), has applied to the Wetlands Board of James City County (the “Board”) to request a permit to use and develop in areas designated as wetlands on property identified as James City County Real Estate Tax Map Parcel No. 4320700001A and further identified as 1636 Harbor Road (the “Property”) as set forth in the application WJPA 19-0011/VMRC 19-0344; and

WHEREAS, the Board has listened to the arguments presented and has carefully considered all evidence entered into the record.

NOW, THEREFORE, BE IT RESOLVED that the Wetlands Board of James City County, Virginia, following a public hearing, by a majority vote of its members FINDS that:

1. The anticipated public and private benefit of the proposed activity in the wetlands exceeds its anticipated public and private detriment.
2. The proposed development conforms to the standards prescribed in Section 28.2-1308 of the Code of Virginia, and the guidelines promulgated pursuant to Section 28.2-1301 of the Code of Virginia.
3. The proposed activity does not violate the purpose and intent of Chapter 22 of the James City County Code or Section 28.2-1300 et. seq. of the Code of Virginia.
4. In granting this Wetlands Permit, the following conditions are hereby imposed:
 - a. The applicant must obtain all other necessary local, state, and/or federal permits required for the project; and
 - b. All development activities located in the special flood hazard area shall comply with Article VI, Division 3, Floodplain Area Regulations of the James City County Zoning Ordinance and receive all required approvals and permits prior to commencement of such activities; and
 - c. The Wetlands Permit for this project shall expire on April 10, 2020, if construction has not begun; and
 - d. If an extension of the permit is needed, a written request shall be submitted to the Stormwater and Resource Protection Division no later than February 27, 2020, six weeks prior to the expiration date.

John Hughes
Chair, Wetlands Board

Michael D. Woolson
Secretary to the Board

Adopted by the Wetlands Board of James City County, Virginia, this 10th day of April, 2019.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 20__ IN THE COMMONWEALTH OF VIRGINIA, IN THE COUNTY OF JAMES CITY.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

WJPA19-0011-VMRC19-0344-res



Wetlands Board of James City County, Virginia

April 10, 2019

WJPA-19-0011

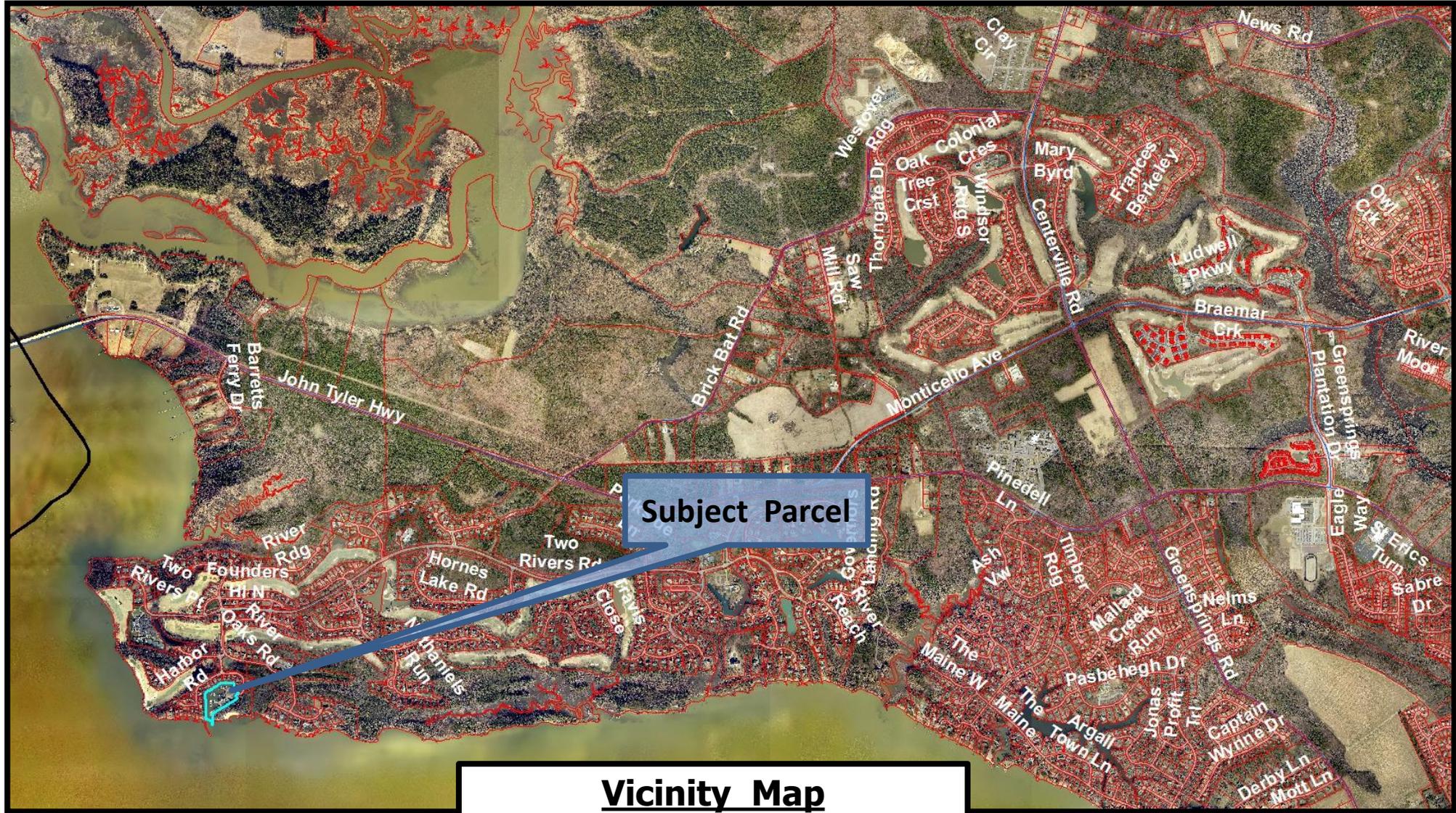
Governor's Land Foundation

1636 Harbor Rd.



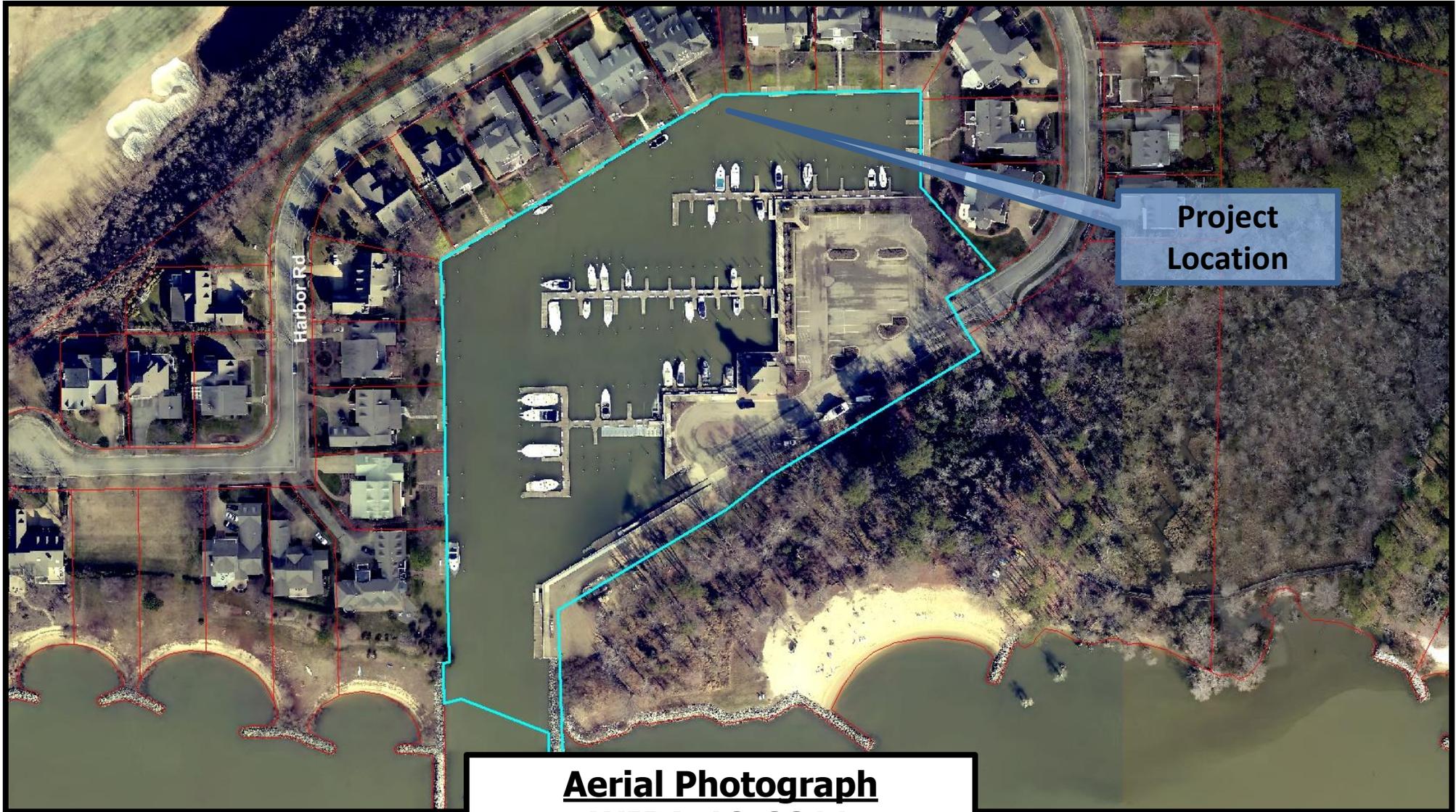
Applicant Request

- ✓ To replace a bulkhead.

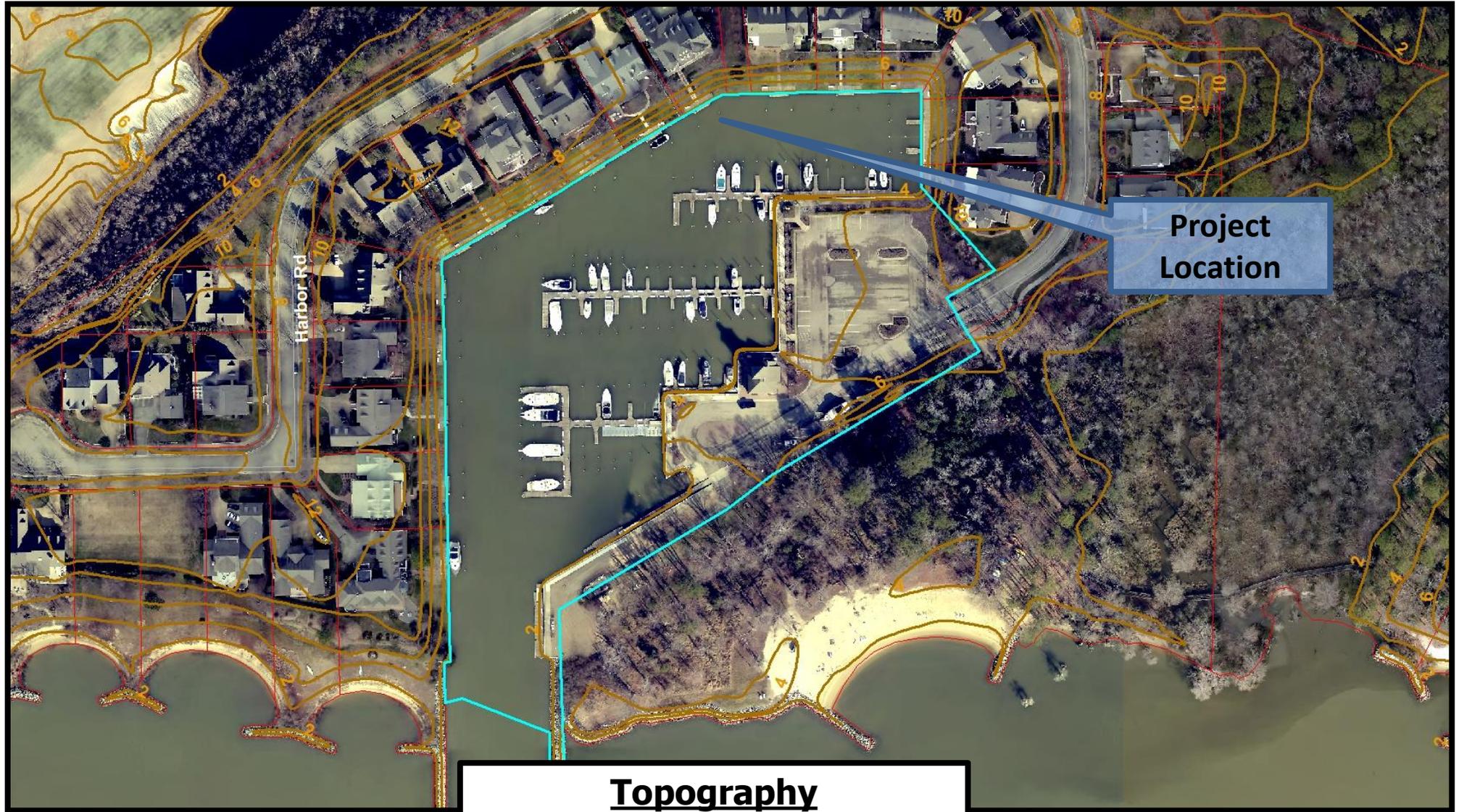


Subject Parcel

Vicinity Map
WJPA-19-0011
1636 Harbor Rd.

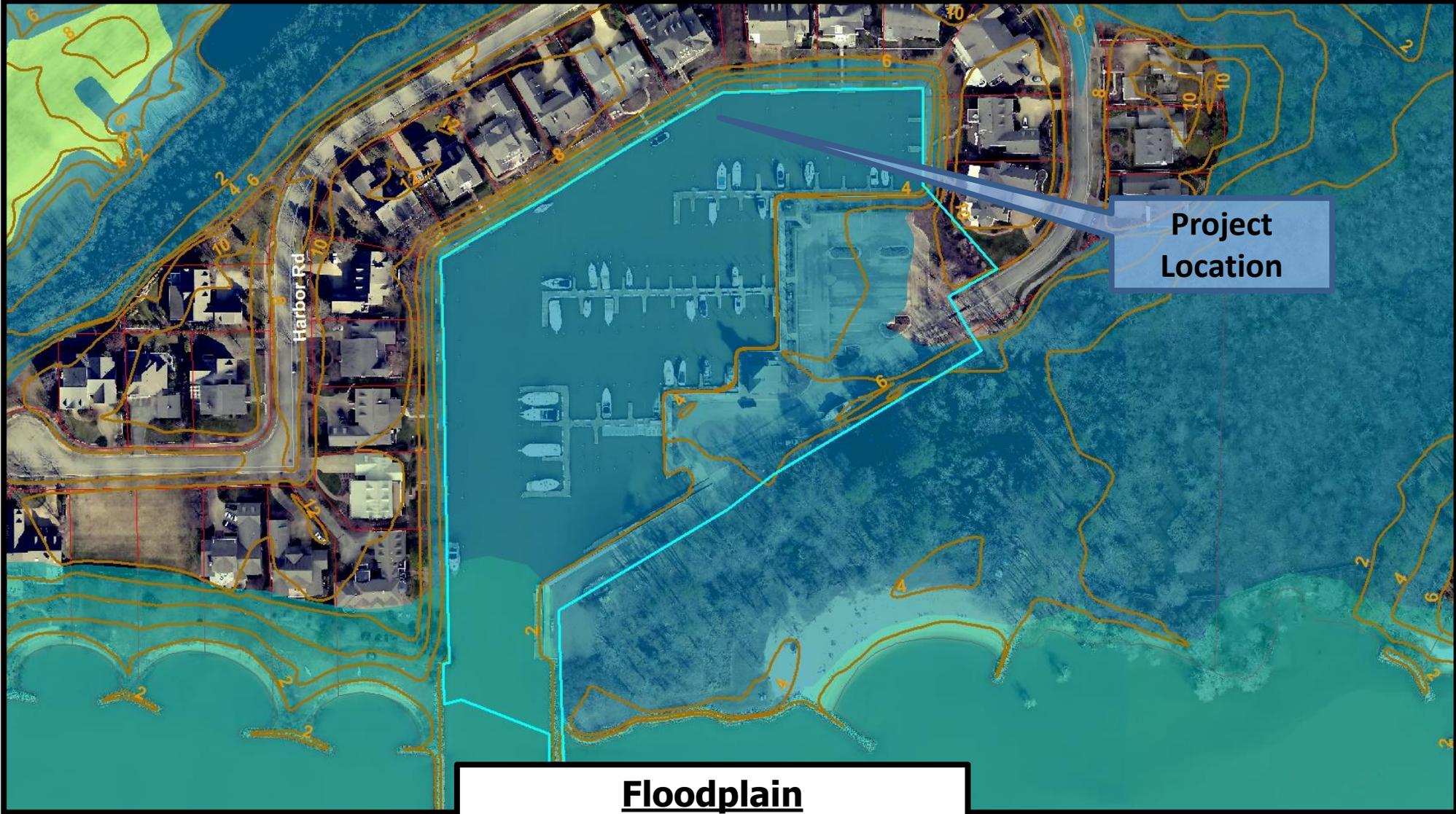


Aerial Photograph
WJPA-19-0011
1636 Harbor Rd.



**Project
Location**

**Topography
WJPA-19-0011
1636 Harbor Rd.**



**Project
Location**

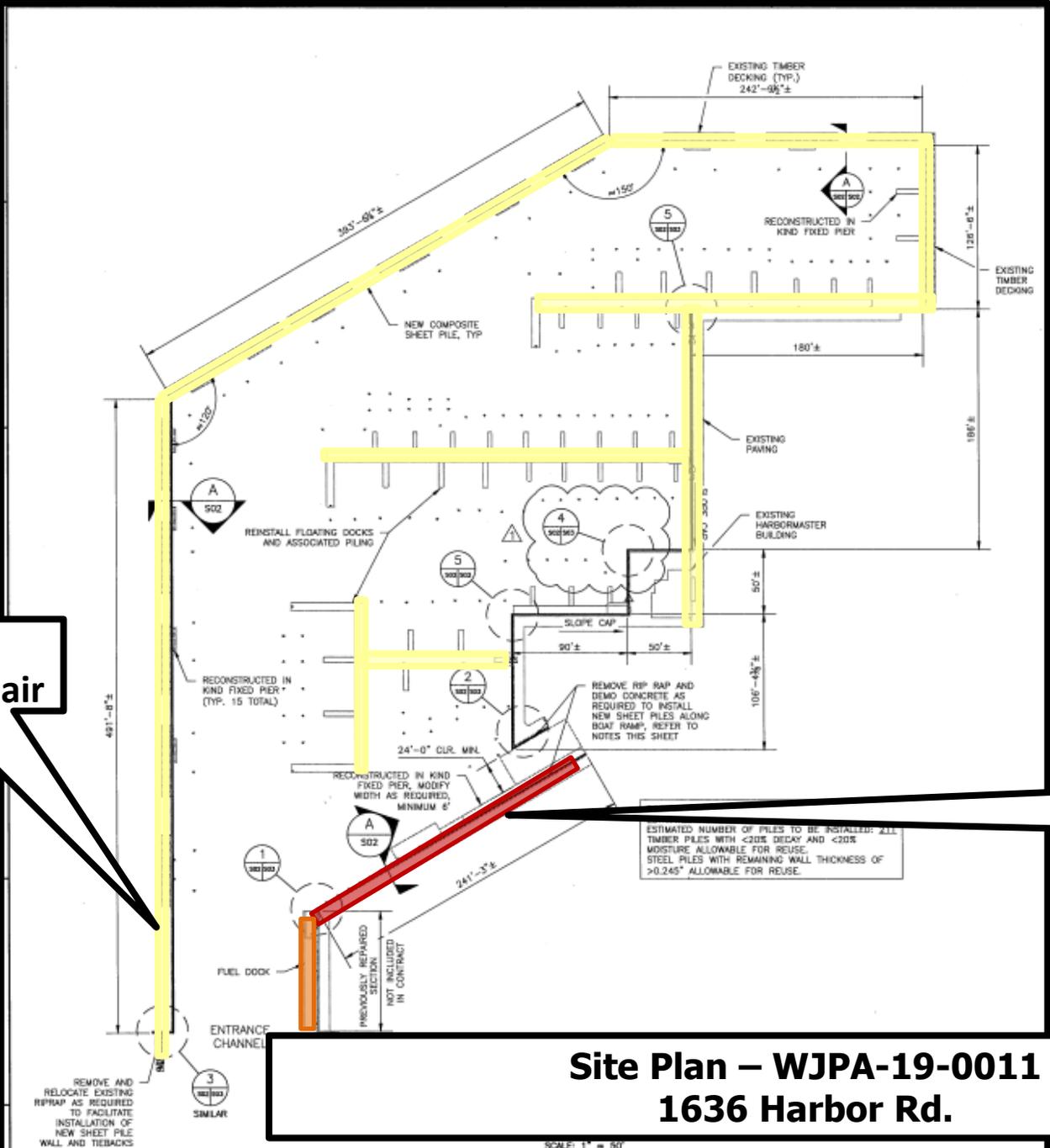
**Floodplain
WJPA-19-0011
1636 Harbor Rd.**

Site Plan showing proposed improvements, received March 6, 2019. For representative use only for presentation of case # WJPA-19-0011/ VMRC-2019-0344.

DOCK PILE NOTES:
 ESTIMATED NUMBER OF PILES TO BE REMOVED: 191
 ESTIMATED NUMBER OF PILES TO BE INSTALLED: 211
 TIMBER PILES WITH <20% DECAY AND <20% MOISTURE ALLOWABLE FOR REUSE.
 STEEL PILES WITH REMAINING WALL THICKNESS OF >0.245" ALLOWABLE FOR REUSE.

Proposed bulkhead repair

Existing rip-rap to be removed as necessary

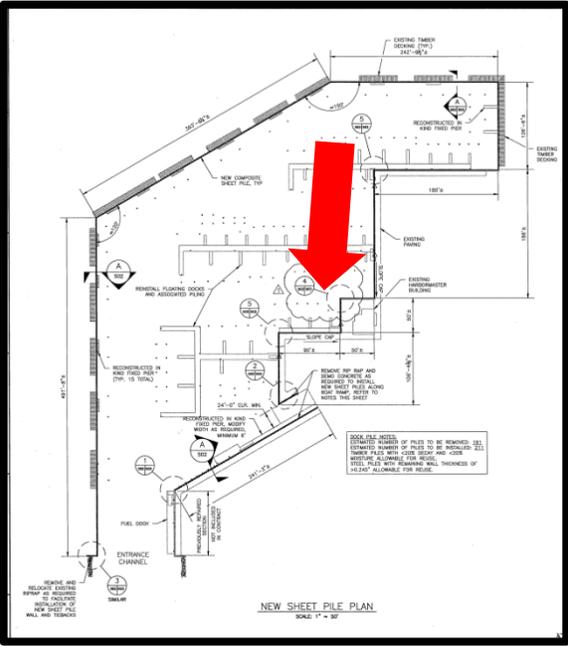


**Site Plan – WJPA-19-0011
 1636 Harbor Rd.**

SCALE: 1" = 50'

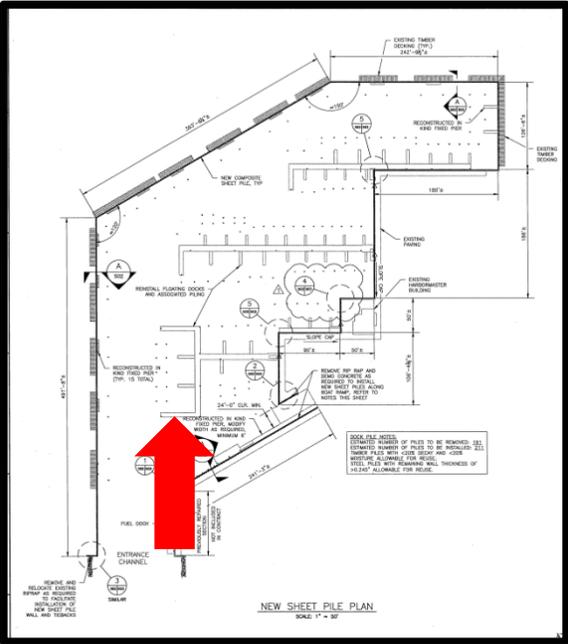


**Site Photograph #1 – WJPA-19-0011
1636 Harbor Rd.**





**Site Photograph #4 – WJPA-19-0011
1636 Harbor Rd.**



Permit Conditions



Staff Recommendation – Approval

- ✓ All other necessary federal, state, and local permits as required for project
- ✓ All Development activities located in the special flood hazard area shall comply with Article VI Division 3 Floodplain Area Regulations
- ✓ The wetlands permit for this project shall April 10, 2020 if construction has not begun
- ✓ If an extension of the permit is needed, a written request shall be submitted to the Stormwater and Resource Protection Division no later than February 27, 2020.

Beth Howell

From: Lisa Smith
Sent: Tuesday, March 5, 2019 2:53 PM
To: JPA.permits@mrc.virginia.gov
Subject: Emergency Repairs at Governor's Land Foundation's Marina Basin
Attachments: JPA Permit Emergency Bulkhead.pdf; Plot of Two rivers Marina at Governors Land - Exhibit A (1).pdf; Collins Engineering drawings - Exhibit B (1).pdf; Proposed Electrical Work - Exhibit C (1).docx

Good Afternoon,

Please find attached the Tidewater Joint Permit Application for emergency repairs in the marina basin located within Governor's Land Foundation.

I can be contacted by email or at 757-253-6976 if you have any questions regarding this matter.

Sincerely,
Lisa Smith, AMS, LSM, PCAM
Governor's Land Foundation
General Manager



- ❖ VMRC: An application fee of \$300 may be required for projects impacting tidal wetlands, beaches and/or dunes when VMRC acts as the LWB. VMRC will notify the applicant in writing if the fee is required. Permit fees involving subaqueous lands are \$25.00 for projects costing \$10,000 or less and \$100 for projects costing more than \$10,000. Royalties may also be required for some projects. The proper permit fee and any required royalty is paid at the time of permit issuance by VMRC. VMRC staff will send the permittee a letter notifying him/her of the proper permit fees and submittal requirements.
- ❖ LWB: Permit fees vary by locality. Contact the LWB for your project area or their website for fee information and submittal requirements. Contact information for LWBs may be found at http://ccrm.vims.edu/permits_web/guidance/local_wetlands_boards.html.

FOR AGENCY USE ONLY	
<div style="border: 2px solid black; padding: 5px; width: fit-content;"> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">RECEIVED</p> <p style="text-align: center; font-weight: bold;">MAR 05 2019</p> <p style="text-align: center; font-weight: bold;">MARINE RESOURCES COMMISSION</p> </div>	Notes:
	JPA # 19-0344

APPLICANTS

Part 1 – General Information

PLEASE PRINT OR TYPE ALL ANSWERS: If a question does not apply to your project, please print N/A (not applicable) in the space provided. If additional space is needed, attach 8-1/2 x 11 inch sheets of paper.

County or City in which the project is located: <u>James City County</u>				
Waterway at project site: <u>A man-made, inland channel off the James River</u>				
<i>PREVIOUS ACTIONS RELATED TO THE PROPOSED WORK (Include all federal, state, and local pre-application coordination, site visits, previous permits, or applications whether issued, withdrawn, or denied)</i>				
<small>Historical information for past permit submittals can be found online with VMRC - https://webapps.mrc.virginia.gov/public/habitat/ - or VIMS - http://ccrm.vims.edu/perms/newpermits.html</small>				
Agency	Action / Activity	Permit/Project number, including any non-reporting Nationwide permits previously used (e.g., NWP 13)	Date of Action	If denied, give reason for denial
James City County	Building Permit	Permit #17-2729	11/20/17	
VMRC	Application Review	VMRC#17-1889	11/2/17	

1. Applicant's legal name* and complete mailing address: **Contact Information:** Lisa Smith
 The Governor's Land Foundation, Inc. Work (757) 253-6976
 2700 Two Rivers Road Fax (757) 253-0320
 Williamsburg, VA 23185 Email: lisa@govlandhoa.hrcoxmail.com

State Corporation Commission Name and ID Number (if applicable) The Governor's Land Foundation Corp. #0369621-8

2. Property owner(s) legal name* and complete address, if different from applicant: **Contact Information:**
 Home () _____
 Work () _____
 Fax () _____
 Cell () _____
 e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

Part 1 - General Information (continued)

3. Authorized agent name* and complete mailing address (if applicable):

Contact Information:

Home () _____

Work () _____

Fax () _____

Cell () _____

e-mail _____

State Corporation Commission Name and ID Number (if applicable) _____

*** If multiple applicants, property owners, and/or agents, each must be listed and each must sign the applicant signature page.**

4. Provide a detailed description of the project in the space below, including the type of project, its dimensions, materials, and method of construction. Be sure to include how the construction site will be accessed and whether tree clearing and/or grading will be required, including the total acreage. If the project requires pilings, please be sure to include the total number, type (e.g. wood, steel, etc.), diameter, and method of installation (e.g. hammer, vibratory, jetted, etc.). If additional space is needed, provide a separate sheet of paper with the project description.

Emergency replacement of a failed bulkhead at the man-made, inland Two Rivers Marina around the marina basin. The total acreage of the basin is 6.758 acres. The failure occurred at multiple locations around the approximately 2,100 lineal feet of bulkhead in the marina basin. The scope of work includes the installation of a new composite material bulkhead sheet pile immediately in front (to the water side) of the existing bulkhead against the existing bulkhead wall to provide additional stability to the remaining bulkhead sections. See attached Collins Engineering drawings (Exhibit B) as well as Proposed Electrical scope of work (Exhibit C).

To accomplish this in the most cost-effective and timely fashion, existing piles/piers, as well as existing floating and fixed docks will be removed and reinstalled where possible. Where existing materials are not reusable, new dock and pile/pier materials will be installed. A majority of the work will be performed from the waterside of the existing bulkhead consisting of the installation of the composite sheet pile within 2-feet of the existing bulkhead and strengthen by helical anchors every 5-feet. The marina basin will remain open during the construction with work confined to isolated sections during the construction period anticipated to be completed in approximately up to 9 months.

5. Have you obtained a contractor for the project? Yes* No. *If your answer is "Yes" complete the remainder of this question and submit the Applicant's and Contractor's Acknowledgment Form

Contractor's name* and complete mailing address:

WWH Enterprise, Inc.
14912 Laurel Point Lane
Spotsylvania, VA 22551

Contact Information:

Work (504) 308-5425

Fax

Email: Wallyhayden@msn.com

State Corporation Commission Name and ID Number WWH Enterprise, Inc; #0637863-1

*** If multiple contractors, each must be listed and each must sign the applicant signature page.**

6. List the name, address and telephone number of the newspaper having general circulation in the area of the project. Failure to complete this question may delay local and State processing.

Name and complete mailing address:

Virginia Gazette
216 Ironbound Rd.
Williamsburg, VA 23188

Telephone number (757) 220-1736

Part I - General Information (continued)

7. Give the following project location information:

Street Address (911 address if available): 1636 Harbor Road

Lot/Block/Parcel#: 4320700001B

Subdivision: Governors Land

City / County: Williamsburg

ZIP Code: 23185

Latitude and Longitude at Center Point of Project Site (Decimal Degrees):

37.242921 / -76.884646

If the project is located in a rural area, please provide driving directions giving distances from the best and nearest visible landmarks or major intersections. *Note: if the project is in an undeveloped subdivision or property, clearly stake and identify property lines and location of the proposed project. A supplemental map showing how the property is to be subdivided should also be provided.*
NA (Exhibit A)

8. What are the *primary and secondary purposes of and the need for* the project? For example, the primary purpose may be "to protect property from erosion due to boat wakes" and the secondary purpose may be "to provide safer access to a pier."

The primary purpose of this emergency repair project is to reduce/eliminate the potential for additional failures of the existing bulkhead within the marina basin which could result in a larger bulkhead failure and potentially impact adjacent properties and/or structures. The secondary purpose is to improve the structural integrity of the remaining bulkhead from ongoing wave and tidal surge action; reduce/eliminate safety concerns around the marina basin; and reduce/eliminate the potential impact to the properties located on the marina basin bulkhead.

9. Proposed use (check one):

Single user (private, non-commercial, residential)

Multi-user (community, commercial, industrial, government)

10. Describe alternatives considered and the measures that will be taken to avoid and minimize impacts, to the maximum extent practicable, to wetlands, surface waters, submerged lands, and buffer areas associated with any disturbance (clearing, grading, excavating) during and after project construction. *Please be advised that unavoidable losses of tidal wetlands and/or aquatic resources may require compensatory mitigation.*

The proposed project does not impact wetlands or buffer zones. Most of the work will be performed from the waterside of the marina. Work will be done from the landside (non-wetlands and buffer areas) from the parking lot. All safeguards will be instituted by the contractor while performing the repair work including booming the area around the tugs while in the marina channel. No submerged lands or buffer zones will be impacted by the project. Further, no clearing, grading, or excavation is anticipated in the project for the replacement of the existing bulkhead.

Part 1 - General Information (continued)

11. Is this application being submitted for after-the-fact authorization for work which has already begun or been completed? Yes No. If yes, be sure to clearly depict the portions of the project which are already complete in the project drawings.
12. Approximate cost of the entire project (materials, labor, etc.): \$4,300,000
Approximate cost of that portion of the project that is channel ward of mean low water:
\$ 0
13. Completion date of the proposed work: Based on a start date of August 1, 2019 – completion date is May 1, 2020
14. Adjacent Property Owner Information: List the name and complete **mailing address**, including zip code, of each adjacent property owner to the project. (NOTE: If you own the adjacent lot, provide the requested information for the first adjacent parcel beyond your property line.) Failure to provide this information may result in a delay in the processing of your application by VMRC.

Adjacent Property Owners:

Governor's Land Foundation	2700 Two Rivers Road	Williamsburg, VA 23185
Mr. & Mrs. Stephen Anderson	1619 Harbor Road	Williamsburg, VA 23185

Marina Basin addresses but not deem adjacent property owners to project. Provided at the request of VMRC:

Mr. & Mrs. Daniel Shultz	1556 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Bill Donohue	1560 Harbor Road	Williamsburg, VA 23185
Ms. Joni Whitwell	1564 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Robert Thompson	1568 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Mike Pierson	1572 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Garry Maynor	1576 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Tom Wilkinson	1580 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Bob Trumble	1584 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. George Smith	1588 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Dave Trickey	1592 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Andy Murphie	1596 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Stuart Morris-Hopkins	1600 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Tom Huddleston	1604 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Charles Peters	1608 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Sterling Nichols	1612 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Richard Webb	1616 Harbor Road	Williamsburg, VA 23185
Mr. & Mrs. Ken McLennan	1620 Harbor Road	Williamsburg, VA 23185

Part 2 - Signatures

1. Applicants and property owners (if different from applicant).

NOTE: REQUIRED FOR ALL PROJECTS

PRIVACY ACT STATEMENT: The Department of the Army permit program is authorized by Section 10 of the Rivers and Harbors Act of 1899, Section 404 of the Clean Water Act, and Section 103 of the Marine Protection Research and Sanctuaries Act of 1972. These laws require that individuals obtain permits that authorize structures and work in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters prior to undertaking the activity. Information provided in the Joint Permit Application will be used in the permit review process and is a matter of public record once the application is filed. Disclosure of the requested information is voluntary, but it may not be possible to evaluate the permit application or to issue a permit if the information requested is not provided.

CERTIFICATION: I am hereby applying for all permits typically issued by the DEQ, VMRC, USACE, and/or Local Wetlands Boards for the activities I have described herein. I agree to allow the duly authorized representatives of any regulatory or advisory agency to enter upon the premises of the project site at reasonable times to inspect and photograph site conditions, both in reviewing a proposal to issue a permit and after permit issuance to determine compliance with the permit.

In addition, I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

The Governor's Land Foundation Inc.

Applicant's Legal Name (printed/typed)

(Use if more than one applicant)

Lisa Smith

Applicant's Signature

(Use if more than one applicant)

03/05/2019

Date

Property Owner's Legal Name (printed/typed)
(If different from Applicant)

(Use if more than one owner)

Property Owner's Signature

(Use if more than one owner)

Date

Part 2 – Signatures (continued)

2. Applicants having agents (if applicable)

CERTIFICATION OF AUTHORIZATION

I (we), _____, hereby certify that I (we) have authorized _____
(Applicant's legal name(s)) (Agent's name(s))

to act on my behalf and take all actions necessary to the processing, issuance and acceptance of this permit and any and all standard and special conditions attached.

We hereby certify that the information submitted in this application is true and accurate to the best of our knowledge.

(Agent's Signature)

(Use if more than one agent)

(Date)

(Applicant's Signature)

(Use if more than one applicant)

(Date)

3. Applicant's having contractors (if applicable)

CONTRACTOR ACKNOWLEDGEMENT

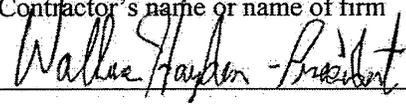
I (we), Two Rivers Country Club, lessee to Governor's Land Foundation have contracted WWH Enterprises Inc. to perform the work described in this Joint Permit Application, signed and dated March 5, 2019

We will read and abide by all conditions set forth in all Federal, State and Local permits as required for this project. We understand that failure to follow the conditions of the permits may constitute a violation of applicable Federal, state and local statutes and that we will be liable for any civil and/or criminal penalties imposed by these statutes. In addition, we agree to make available a copy of any permit to any regulatory representative visiting the project to ensure permit compliance. If we fail to provide the applicable permit upon request, we understand that the representative will have the option of stopping our operation until it has been determined that we have a properly signed and executed permit and are in full compliance with all terms and conditions.

WWH Enterprises Inc.
Contractor's name or name of firm

14912 Laurel Point Lane, Spotsylvania, VA 22551

Contractor's or firms address



Contractor's signature and title

Class A 2705113911

Contractor's License Number

Applicant's signature

(use if more than one applicant)

Date

Part 2 – Signatures (continued)

ADJACENT PROPERTY OWNER'S ACKNOWLEDGEMENT FORM

I (we), _____, own land next to (across the water (Print adjacent/nearby property owner's name)

from/on the same cove as) the land of The Governor's Land Foundation Corporation Inc.
(Print applicant's name(s))

I have reviewed the applicant's project drawings from Collins Engineering dated August 1, 2018 and updated February 26, 2019, and Proposed Electrical scope of work dated November 13, 2018 to be submitted for all necessary federal, state and local permits.

I HAVE NO COMMENT ABOUT THE PROJECT.

I DO NOT OBJECT TO THE PROJECT.

I OBJECT TO THE PROJECT.

The applicant has agreed to contact me for additional comments if the proposal changes prior to construction of the project.

(Before signing this form be sure you have checked the appropriate option above).

Adjacent/nearby property owner's signature(s)

Date

Note: If you object to the proposal, the reason(s) you oppose the project must be submitted in writing to VMRC. An objection will not necessarily result in denial of the project; however, valid complaints will be given full consideration during the permit review process.



U.S. Army Corps
Of Engineers
Norfolk District

Regional Permit 17 Certificate of Compliance Form

Please obtain and read a copy of the 13-RP-17 prior to completion of this form. Copies can be obtained by contacting the U.S. Army Corps of Engineers Regulatory Branch (Corps) at (757) 201-7652 or on our website at: <http://www.nao.usace.army.mil/Missions/Regulatory/RBregional.aspx>.

- YES NO Is the proposed pier for private use ONLY?
- YES NO Does the proposed pier extend LESS than 1/4 the width of the waterway as measured from MHW to MHW or OHW to OHW (including channelward wetlands) based on the narrowest distance across the waterway regardless of the orientation of the proposed pier (MHW = mean high water line; OHW = ordinary high water line)?
- YES NO Does the proposed pier and/or mooring structure(s) extend LESS than 300 feet from the mean high water line or ordinary high water line?
- YES NO N/A If the proposed structure crosses wetland vegetation, is it of an open-pile design that has a maximum width of five (5) feet and a minimum height of four (4) feet between the decking and the wetland substrate?
- YES NO N/A If the proposed pier is to include an attached open-sided roof designed to provide shelter, is the cumulative roof square footage less than 700 square feet?
- YES NO N/A Is the total number of boat slips on the property less than or equal to two boat slips?
- YES NO Have you confirmed that the proposed construction will not take place in one of the reaches which serve as habitat for federally threatened and endangered species, Federal Navigation Channels, and/or does not meet any of the requirements listed in the "V. NOTIFICATION REQUIREMENTS #1-7" section of this permit?
- YES NO N/A If the proposed work is in portions of any waterways listed in Special Condition 6, have you obtained an easement to cross government property from the Army Corps of Engineers Real Estate Office?

IF YOU HAVE ANSWERED "NO" TO ANY OF THE QUESTIONS ABOVE, THE REGIONAL PERMIT 17 WILL NOT APPLY AND YOU WILL NEED TO SUBMIT A JOINT PERMIT APPLICATION AND OBTAIN A SEPARATE PERMIT FROM THE CORPS BEFORE COMMENCING CONSTRUCTION.

IF YOU HAVE ANSWERED "YES" (OR "N/A", WHERE APPLICABLE) TO ALL OF THE QUESTIONS ABOVE, YOU ARE IN COMPLIANCE WITH THE REGIONAL PERMIT 17. PLEASE SIGN BELOW, ATTACH, AND SUBMIT WITH YOUR COMPLETED JOINT PERMIT APPLICATION. THIS SIGNED CERTIFICATE SERVES AS YOUR LETTER OF AUTHORIZATION FROM THE CORPS. YOU WILL NOT RECEIVE ANY OTHER WRITTEN AUTHORIZATION FROM THE CORPS. HOWEVER, YOU MAY NOT PROCEED WITH CONSTRUCTION UNTIL YOU HAVE OBTAINED ALL OTHER NECESSARY STATE AND LOCAL PERMITS.

I CERTIFY THAT I HAVE READ AND UNDERSTAND ALL CONDITIONS OF THE REGIONAL PERMIT 17 (13-RP-17), DATED AUGUST 14 2013, ISSUED BY THE US ARMY CORPS OF ENGINEERS, NORFOLK DISTRICT REGULATORY BRANCH (CENAO-WR-R), NORFOLK, VIRGINIA.

Lisa Smith
Signature of Property Owner(s) or Agent

Date 03/05/2019

Proposed work to be located at:
1636 Harbor Road, Williamsburg, VA
23185

Revision Date: August 2013

Part 3 – Appendices

Please complete and submit the appendix questions applicable to your project, and attach the required vicinity map(s) and drawings to your application. If an item does not apply to your project, please write "N/A" in the space provided.

Appendix A: Projects for Access to the water such as private and community piers, boathouses, marinas, moorings, and boat ramps. Answer all questions that apply.

1. Briefly describe your proposed project.

Existing docks will be temporarily moved during the installation of the new bulkhead. After the bulkhead installation the docks be reinstalled in approximately the same location. All the docks but one, will be refurbished with new composite deck material and updated electrical pedestals. One dock requires emergency repair due to the lack of structural integrity, will be replaced and relocated in the same location and have the same number of slips.

2. For private, noncommercial piers:

Do you have an existing pier on your property? Yes No
If yes, will it be removed? Yes No and then replaced
in approximately the same location.

Is your lot platted to the mean low water shoreline? Yes No
What is the overall length of the proposed structure? 895 feet. Keep
record

Channelward of Mean High Water NA

Channelward of Mean Low Water? NA

What is the area of the piers and platforms that will be constructed over

Tidal non-vegetated wetlands 0 square feet.

Tidal vegetated wetlands 0 square feet.

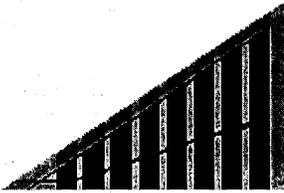
Submerged lands 0 square feet.

What is the total size of any and all L- or T-head platforms? 486 sq. ft.

For boathouses, what is the overall size of the roof structure? 0 sq. ft.

Will your boathouse have sides? Yes No. N/A

NOTE: All proposals for piers, boathouses and shelter roofs must be reviewed by the Virginia Marine Resources Commission (Commission or VMRC), however, pursuant to § 28.2-1203 A 5 of the Code of Virginia a VMRC permit may not be required for such structures (except as required by subsection D of § 28.2-1205 for piers greater than 100 feet in length involving commercially productive leased oyster or clam grounds), provided that (i) the piers do not extend beyond the navigation line or private pier lines established by the Commission or the United States Army Corps of Engineers (USACE), (ii) the piers do not exceed six feet in width and finger piers do not exceed five feet in width, (iii) any L or T head platforms and appurtenant floating docking platforms do not exceed, in the aggregate, 400 square feet, (iv) if prohibited by local ordinance open-sided shelter roofs or gazebo-type structures shall not be placed on platforms as described in clause (iii), but may be placed on such platforms if not prohibited by local ordinance, and (v) the piers are determined not to be a navigational hazard by the Commission. Subject to any applicable local ordinances, such piers may include an attached boat lift and an open-sided roof designed to shelter a single boat slip or boat lift. In cases in which open-sided roofs designed to shelter a single boat, boat slip or boat lift will exceed 700 square feet in coverage or the open-sided shelter roofs or gazebo structures exceed 400 square feet, and in cases in which an adjoining property owner objects to a proposed roof structure, permits shall be required as provided in § 28.2-1204.



**ADVANCED
ELECTRICAL
SERVICE, Inc.**

110 Harwood Drive
Newport News, Virginia 23603
Virginia License: 2705 053849A
Federal Id.: 54-1894218
Telephone: 757-888-0900
Facsimile: 757-888-2322

Proposal No: 1810-20N
November 13, 2018

Two Rivers Marina
1636 Harbor Road
Williamsburg, VA 23185

We hereby submit prices and specifications for the following:

Provide electrical materials and labor required to complete upgrades to the marina per the plans prepared by Collins Engineers Inc. dated 8/1/2018 with the following clarifications. The circuit that supplies the lighting connection at the existing pedestals at the bulkhead homeowner locations and back range light shall be shut off; disconnected and the conduit abandoned in place. The pedestal lights shall be connected to the individual homeowner supply circuits in each pedestal. The existing docks A, B and C shall be disconnected and power connections to the source on shore removed to allow the new bulkhead to be installed. New supply conductors to the floating docks shall be installed as unspliced runs of copper cable from the supply breakers to the first connection on the floating docks. Pedestals on Docks B & C shall be configured to provide only 30 Amp, 120 Volt shore power connections so that panels PB, PC and their existing supply transformers are retained while complying with NEC 555.19(A)(3). Dock A shall be provided with eleven new pedestals two of which shall contain one 50 Amp, 120/240 Volt shore power receptacle while the remainder contain two such receptacles. These receptacles shall be supplied via new sub-station equipment sized to comply with NEC 555.13 and 555.19 requirements. The substation equipment shall be mounted on the floating dock system. New pedestals and any parts required to refurbish the existing pedestals shall be furnished by owner. A new power substation equipped with six GFI type weather-proof receptacles shall be installed on the landscaped island near the flag pole. Pricing assumes that the existing cables between pedestals will be reconnected after new decking is installed and that the existing conduits below the paved areas can be reused. Pricing based on current copper commodity pricing of \$2.76/lb. and any increase in this index will be subject to a change order. Any additional floatation required beneath the floating dock system to support the substation equipment is not included. Preparation of plans as required for permitting is included.

All work shall meet applicable local and national codes. All applicable taxes are included.

NOTE: This proposal may be withdrawn after 30 days from the above date.

We hereby propose to furnish materials and labor - complete in accordance with the above specifications, for the sum of: One Hundred Eighty One Thousand Nine Hundred and 00/100-----Dollars (\$181,900.00).

TERMS: Net 30 for work completed and materials on hand. Standard AES Inc. terms to be included in final contract.

Authorized by: _____ Date: November 13, 2018

Neil Martin

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Accepted by: _____ Date: _____

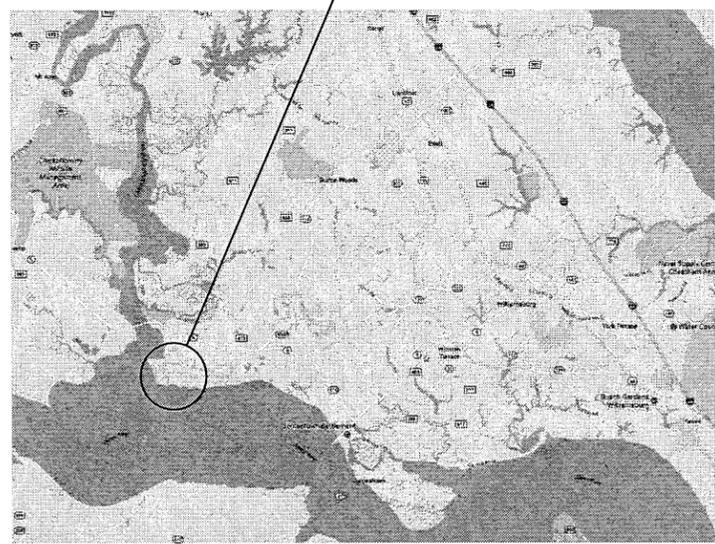
TWO RIVERS COUNTRY CLUB GOVERNORS LAND MARINA WATERFRONT BULKHEAD EMERGENCY REPAIRS/BULKHEAD REPLACEMENT

WILLIAMSBURG, VIRGINIA

AUGUST 1, 2018

RECEIVED
MAR 05 2019
**MARINE RESOURCES
COMMISSION**

PROJECT LOCATION



VICINITY MAP

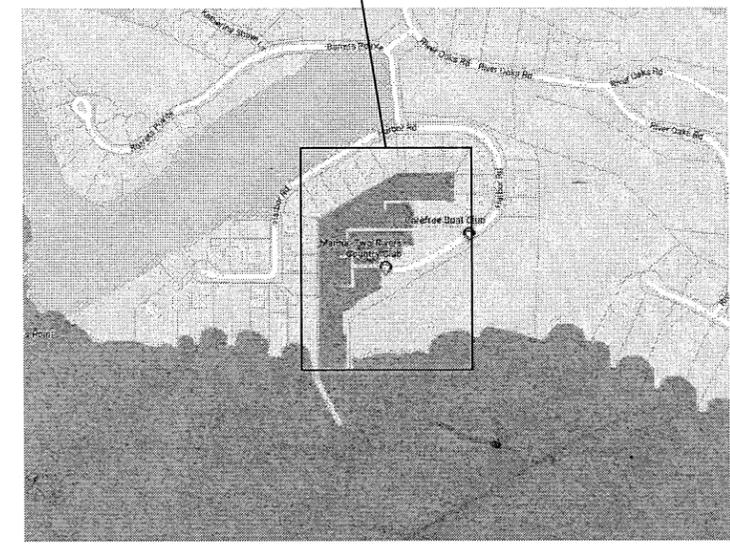
PREPARED BY:

**COLLINS
ENGINEERS^{INC}**

DRAWING INDEX

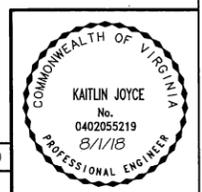
SHEET NO.	DRAWING NO.	TITLE
1 OF 6	T01	TITLE SHEET
2 OF 6	G01	GENERAL NOTES
3 OF 6	S01	EXISTING PLAN
4 OF 6	S02	NEW WORK PLAN
5 OF 6	S03	SECTIONS AND DETAILS
6 OF 6	S04	SECTIONS AND DETAILS

PROJECT LOCATION



LOCATION MAP

REV	DESCRIPTION	DATE	APPROVED
1	HARBOR HOUSE BULKHEAD	2/26/19	



DESIGN CRITERIA:
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) STEEL CONSTRUCTION MANUAL, 14TH EDITION
 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (USBC)
 VRC-PT 11 OF VUSBC
 SHEET PILE WALL (SPW) 911, VERSION 2.4, BY PILE BUCK, INC. (SHEET PILE ANALYSIS COMPUTER PROGRAM)

DESIGN ASSUMPTIONS:
 SOIL PROPERTIES PROVIDED BY ECS, INC. DATED OCTOBER 3, 2016
 SURCHARGE LOAD = 100PSF
 5.00' HYDROSTATIC PRESSURE DIFFERENTIAL
 SHEET PILE ALLOWABLE STRESS = 0.67FY
 WALE ALLOWABLE STRESS = 0.67FY
 MINIMUM FACTOR OF SAFETY (F.S.) AGAINST TOE FAILURE = 1.5
 ANCHOR ULTIMATE LOAD = 2.0 X ALLOWABLE LOAD
 SERVICE LOAD ON WALER = 3.2 K/FT

GENERAL NOTES:

- THESE DRAWINGS ARE INCOMPLETE WITHOUT SPECIFICATION "SECTION 31 66 13 - HELICAL PILES AND HELICAL ANCHORS" AND "SECTION 31 41 16.16 - FIBER REINFORCED POLYMER COMPOSITE SHEET PILING".
- BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH STRUCTURAL CONDITIONS OF THE EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DIMENSIONS, ELEVATIONS, ETC. NECESSARY FOR THE PROPER CONSTRUCTION AND ALIGNMENT OF THE STRUCTURES. THE CONTRACTOR SHALL MAKE ALL MEASUREMENTS NECESSARY FOR PROPER ERECTION OF STRUCTURAL MEMBERS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS NECESSARY FOR THE PROPER COORDINATION, INSTALLATION, AND FIT OF HIS WORK.
- REFERENCE DRAWINGS NOTED THROUGHOUT THESE CONTRACT DOCUMENTS REFER TO THE ORIGINAL CONSTRUCTION DOCUMENTS DEVELOPED BY LANGLEY AND MCDONALD, P.C. SIGNED AND SEALED 6/27/1994. REFERENCE DRAWINGS ARE NOT "AS BUILT RECORD DRAWINGS" AND MAY NOT REFLECT AS IS CONDITIONS. CONTRACTOR SHALL COMBINE USE OF THE REFERENCE DRAWINGS, THE CONTRACT DRAWINGS, AND FIELD VERIFIED DATA THROUGHOUT CONSTRUCTION OF THE NEW BULKHEAD.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL PERMANENT REPAIRS ARE IN PLACE.
- ALL DIMENSIONS, ELEVATIONS AND STATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE AND SHALL BE CONFIRMED BY CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION, FABRICATION, OR MATERIAL PROCUREMENT.
- THE CONTRACTOR SHALL ENSURE THAT ALL PHASES OF CONSTRUCTION ARE PERFORMED IN A MANNER TO ASSURE THE SAFETY OF ALL PERSONNEL ON THE SITE AND IN ACCORDANCE WITH OSHA STANDARDS.
- CONTRACTOR SHALL HAVE LOCATED AND MARKED ALL UNDERGROUND UTILITIES BEFORE COMMENCING WORK.
- WHERE EXISTING STRUCTURES, UTILITIES, ETC. TO REMAIN ARE DAMAGED DUE TO NEW CONSTRUCTION OR DEMOLITION REQUIRED BY THESE DOCUMENTS, THE CONTRACTOR SHALL REPAIR THE DAMAGED ITEM(S) WITH NEW MATERIALS TO MATCH THE ADJACENT MATERIAL, TEXTURE, AND COLOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BID SUBMITTAL FOR FIELD VERIFICATION OF EXISTING CONDITIONS. REPORT ANY UNSATISFACTORY CONDITIONS AT THE SITE TO THE ENGINEER. LACK OF KNOWLEDGE OF EXISTING CONDITIONS WILL NOT BE CONSIDERED A BASIS FOR CHANGE ORDERS, EXCEPT WHERE APPROVED BY THE ENGINEER. BEGINNING OF CONSTRUCTION MEANS CONTRACTOR ACCEPTS EXISTING CONDITIONS.

STEEL NOTES:

- STRUCTURAL STEEL HP SHAPES SHALL BE IN ACCORDANCE WITH ASTM A992 (FY=50KSI)
- STRUCTURAL STEEL ROLLED CHANNELS SHALL BE IN ACCORDANCE WITH ASTM A36 (FY=36KSI).
- STRUCTURAL STEEL PLATES SHALL CONFORM TO ASTM A36 (FY=36 KSI).
- ALL STRUCTURAL STEEL SHALL BE SHOP COATED WITH TARGUARD EPOXY IN BLACK. REFER TO STEEL COATINGS SECTION THIS SHEET.
- ALL BOLTS, NUTS, WASHERS, FASTENERS AND RELATED ITEMS SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 OR ASTM A153 AS APPLICABLE. BOLTS SHALL CONFORM TO ASTM A307 UNLESS OTHERWISE NOTED.
- WELDING SHALL CONFORM TO AMERICAN WELDING SOCIETY (AWS) D1.1. USE E70XX ELECTRODES.
- CLEAN AREAS OF EXISTING STEEL THAT ARE TO BE FIELD WELDED TO BARE METAL. PRESSURE WASHING WILL NOT BE PERMITTED.
- MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
- ALONG CONTINUOUS WALL SECTIONS, WALER SHALL BE INSTALLED AT A CONSTANT ELEVATION WITHIN THE LIMITS GIVEN IN THE DRAWINGS. CHANGE IN ELEVATION ALONG WALER LENGTH SHALL BE KEPT UNDER 1/4" PER 20' WITH A MAX CHANGE OF ELEVATION ±3" ALONG ANY GIVEN CONTINUOUS WALL SECTION.

COMPOSITE SHEET PILE NOTES:

- COMPOSITE SHEET PILES SHALL BE FIBERGLASS REINFORCED POLYMER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
 - ALLOWABLE MOMENT = 17,333 FT-LB/FT
 - SECTION MODULUS (Z) = 20.8 IN³/FT
 - MOMENT OF INERTIA (I) = 104 IN⁴/FT
 - MODULUS OF ELASTICITY (E) = 4,000,000 PSI
 - MINIMUM LENGTH = 25'
 - COLOR SHALL BE DARK GRAY OR BLACK.
- ALONG LENGTH OF WALL NEW SHEET PILES SHALL BE LOCATED PARALLEL TO EXISTING.
- DEVIATION FROM VERTICAL: NOT MORE THAN 1/8-INCH PER 4 FEET.
- DISTANCE BETWEEN EXISTING AND NEW SHEET PILING SHALL REMAIN CONSTANT ALONG ANY CONTINUOUS LENGTH OF WALL AS TO NOT CHANGE ORIGINAL ANGLE OF WALL. SUBMITTAL OF SHEET PILE LAYOUT SHOULD INCLUDE ANTICIPATED DISTANCES BETWEEN FACE OF EXISTING SHEET PILE AND FACE OF NEW SHEET PILE. DISTANCES SHOULD BE KEPT TO A MINIMUM AS TO NOT INCREASE IMPACT INTO EXISTING MARINA BASIN.
- ALIGNMENT, IN ANY GIVEN 30'-FOOT LENGTH OF BULKHEAD: NO POINT AT THE TOP OF THE BULKHEAD, BEFORE CAPPING, SHALL DEVIATE MORE THAN 2-INCHES FROM A STRAIGHT LINE.
- CONTRACTOR IS RESPONSIBLE FOR SELECTION OF PILE DRIVING EQUIPMENT AND METHODS NECESSARY FOR SUCCESSFUL INSTALLATION OF COMPOSITE SHEET PILES. REFER TO GEOTECHNICAL REPORT PREPARED BY ECS DATED OCTOBER 3, 2016 FOR ANTICIPATED SUBSURFACE CONDITIONS.
- CONTRACTOR SHALL CONSULT PILE MANUFACTURER WHEN SELECTING PILE DRIVING EQUIPMENT TO ENSURE SUCCESSFUL PILE DRIVING GIVEN CHARACTER OF SUBSURFACE MATERIALS ANTICIPATED AND SITE RESTRICTIONS.
- DRIVE PILES WITH PROPER SIZE VIBRATORY HAMMER AND BY MANUFACTURER APPROVED METHODS SO AS NOT TO SUBJECT THE PILING TO DAMAGE AND TO ENSURE PROPER INTERLOCKING THROUGHOUT THEIR LENGTHS. CAUTION SHALL BE TAKEN IN THE SUSTAINED USE OF VIBRATORY HAMMERS WHEN A HARD DRIVING CONDITION IS ENCOUNTERED TO AVOID INTERLOCK-MELT OR DAMAGE. DISCONTINUE THE USE OF VIBRATORY HAMMERS EMPLOYED WHEN THE PENETRATION RATE DUE TO VIBRATORY LOADING IS ONE FOOT OR LESS PER MINUTE.
- IF OBSTRUCTIONS RESTRICT DRIVING A PILING TO THE SPECIFIED DEPTH, THE OBSTRUCTIONS SHALL BE REMOVED OR PENETRATED WITH A CHISEL BEAM.
- IF PENETRATIONS LESS THAN 6" SQUARE AT BULKHEAD ARE TO BE SEALED WATER-TIGHT TO PREVENT FUTURE FILL LOSS, SATURATE JUTE OR OAKUM IN FXII JET SET HYDROPHILIC SEALING AND GROUTING COMPOUND OR EQUAL (FXII JET SET IS MANUFACTURED BY SIMPSON STRONG TIE) REMOVE EXCESS FXII JET SET AND FORCE SATURATE JETS OAKUM INTO JOINT. SPRAY WITH POTABLE WATER TO ACTIVATE FXII JET SET. REPEAT PROCEDURE UNTIL JOINT IS FILLED AROUND ENTIRE PERIMETER. OAKUM OR JUTE SHALL BE VIRGIN/UNRATED MATERIAL.

STEEL COATINGS:

- STEEL WALER AND PLATES SHALL BE SHOP COATED ALL SURFACES.
- EXISTING STEEL PIPE PILES TO BE REINSTALLED SHALL BE FIELD CLEANED, PRIMED, AND PAINTED FROM THE MUDLINE TO TOP OF PILE. REFER TO SHEET S02 FOR ESTIMATE OF PILE QUANTITIES AND STANDARDS FOR RE-USE.
- SHOP SURFACE PREPARATION: CLEAN SURFACES TO BE PAINTED. REMOVE LOOSE RUST AND LOOSE MILL SCALE, SPLATTER, SLAG, AND FLUX DEPOSITS. PREPARE SURFACES ACCORDING TO SSPC-SP 10/NACE NO. 2, 3 MIL.
- SHOP PAINT: SSPC-PAINT 16; SHERWIN-WILLIAMS TAR GUARD SELF-PRIMING, TWO-COMPONENT, COAL TAR EPOXY

POLYAMIDE, BLACK IN COLOR.

- SHOP PAINTING: IMMEDIATELY AFTER SURFACE PREPARATION, APPLY COAT OF PAINT ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. APPLY MINIMUM OF 2 COATS 8 MIL EACH FOR A TOTAL DRY FILM THICKNESS OF 16 MILS. WHEN USING SPRAY APPLICATIONS, USE 50% OVERLAP MINIMUM WITH EACH PASS OF THE GUN TO AVOID HOLIDAYS, BARE AREAS, AND PINHOLES, IF NECESSARY CROSS SPRAY AT RIGHT ANGLES TO ORIGINAL PASS.
- TOUCH UP PAINTING: CLEAN FIELD WELDS, SPLICES, AND ABRADED PAINTED AREAS AND FIELD-APPLY PAINT ACCORDING TO SSPC-SP 3 POWER TOOL CLEANED. APPLY 2 COATS 8 MIL EACH FOR A TOTAL DRY FILM THICKNESS OF 16 MILS.
- FIELD SURFACE PREPARATION: REMOVE ALL OIL, DUST, GREASE, DIRT, LOOSE RUST, AND OTHER FOREIGN MATERIAL. MINIMUM SURFACE PREPARATION SHALL MEET SSPC-SP-12/NACE 5, WJ-2. MINIMUM 5,000 PSI PRESSURE WASHING IS ACCEPTABLE IN LIEU OF 10,000PSI.
- FIELD PAINT: STEEL TO BE FIELD PAINTED SHALL BE COATED WITH DURA-PLATE 235 MULTI-PURPOSE EPOXY COATING OR APPROVED EQUAL. COLOR SHALL BE HAZE GRAY. MINIMUM FINAL THICKNESS SHALL BE 8 MILS.

HELICAL ANCHORS:

- THE WORK SHOWN ON THESE PLANS CONSISTS OF DESIGNING, FURNISHING, INSTALLING, TESTING AND STRESSING PERMANENT HELICAL ANCHORS. REFER TO GEOTECHNICAL REPORT PREPARED BY ECS DATED OCTOBER 3, 2016 FOR SOIL DATA TO BE USED IN DESIGN. FOR COMPLETE HELICAL ANCHOR INFORMATION REFER TO SPECIFICATIONS.
- MINIMUM ULTIMATE ANCHOR LOAD CAPACITY SHALL BE 32 KIPS HORIZONTAL COMPONENT.
- PROOF TEST LOADING SHALL BE PERFORMED ON A MINIMUM OF 1 ANCHOR PER 50' OF INSTALLED WALL. REFER TO SPECS FOR PROOF TEST DEFINITION AND STANDARDS. FINAL TEST LOCATIONS WILL BE DETERMINED BY OWNER REPRESENTATIVE.
- INSTALLATION TORQUE RECORDS SHALL BE PROVIDED FOR EVERY INSTALLED ANCHOR.
- ALL TIE-RODS AND ACCESSORIES SHALL BE HOT-DIP GALVANIZED.
- TURNBUCKLES (IF USED) SHALL BE VERIFIED TO MEET THE STRENGTH SPECIFICATIONS AS LISTED IN AISC TABLE 5-15.
- ALL FASTENING NUTS SHALL CONFORM TO ASTM A563, HEAVY HEX, GRADE DH, AND SHALL BE HOT DIP GALVANIZED.
- ALL WASHERS SHALL CONFORM TO ASTM F436, TYPE 1. ALL WELDING SHALL BE PERFORMED USING E70 LOW HYDROGEN ELECTRODES IN ACCORDANCE WITH AWS D1.1.
- ALL BOLTED CONNECTIONS SHALL BE TIGHTENED TO A SNUG TIGHTENED CONDITION AS PER AISC.
- LOCTITE THREADLOCKER SHALL BE APPLIED TO THREADS IN THE ENGAGEMENT AREA OF ALL BOLTED CONNECTIONS PRIOR TO TIGHTENING OF NUTS.
- CONTRACTOR TO PROVIDE TIE-BACK IDENTIFICATION SYSTEM SIMILAR TO EXISTING PLACARD SYSTEM. PLACARDS SHALL BE ATTACHED TO THE TOP OF THE NEW SHEET PILE CAP. FINAL PLACARD STYLE AND NUMBERING SCHEME SHALL BE APPROVED BY OWNER BEFORE INSTALLATION.

TIMBER NOTES:

- TIMBER PILES SHALL BE SOUTHERN YELLOW PINE OR DOUGLAS FIR CLEAN-PEELED PILES CONFORMING TO ASTM D25. CIRCUMFERENCE SHALL MATCH EXISTING TIMBER PILES SALVAGED FOR RE-USE. REFER TO SHEET S02 FOR ESTIMATE OF PILE QUANTITIES AND STANDARDS FOR RE-USE.
- TREAT PILES BASED ON USE CATEGORY AND SPECIES IN ACCORDANCE WITH AWPA U1 AND AWPA T1 TO THE RETENTION AND PENETRATION FOR MARINE PILING AND PRODUCE IN ACCORDANCE WITH WWPI MGT PRACTICES. PILES
- ALL NEW WOOD FRAMING SHALL MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD DIMENSION LUMBER. ALL NEW WOOD DECKING SHALL BE SOUTHERN PINE NO.1. ALL OTHER WOOD FRAMING SHALL BE SOUTHERN PINE NO.2.
- STORE ALL LUMBER ON LEVEL RACKS AND KEEP FREE OF GROUND TO AVOID WARPING. STACK TO INSURE PROPER VENTILATION AND DRAINAGE.
- ALL WOOD MEMBERS SHALL BE PRESSURE TREATED.
- UNLESS OTHERWISE INDICATED ALL METAL CONNECTIONS, FASTENERS AND MISCELLANEOUS HARDWARE SHALL BE HOT DIP GALVANIZED.
- LAG SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME STANDARD B18.2.1 AND BE HOT DIPPED GALVANIZED.
- SCREWS FOR DECKING SHALL MEET THE REQUIREMENTS OF ANSI/ASME STANDARD B18.6.1 AND BE HOT DIP GALVANIZED.

SEAL CONCRETE:

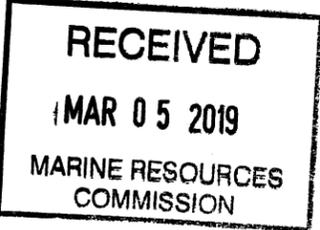
- CONCRETE SEAL SHOWN ON PLAN SHALL BE TREMIE SEAL CONCRETE WITH A 7-DAY COMPRESSIVE STRENGTH (F'C) OF 1,500-2,000 PSI AND SHALL BE PLACED BY USING A TREMIE METHOD. WATER-CEMENT RATIO SHALL BE ADEQUATE TO PROVIDE SUFFICIENT FLOW.
- CONCRETE SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 FEET. A MINIMUM OF 12 HOURS SHALL BE ALLOWED FOR EACH LIFT TO SET UP PRIOR TO POURING EACH SUBSEQUENT LIFT OR BACKFILLING.

ELECTRICAL, MECHANICAL, AND PLUMBING WORK:

- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING MECHANICAL, ELECTRICAL, AND UTILITIES AROUND THE WORK AREA AND NOTIFY OWNER OF WORK REQUIRED FOR INSTALLATION OF THE NEW BULKHEAD.
- FOR BIDDING PURPOSES ONLY PRELIMINARY ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS ARE BEING PROVIDED FOR REFERENCE IN THE BID PACKAGE.
- THE CONTRACTOR SHALL PROVIDE ALL DISCONNECTS TO MEET LOCAL CODES.
- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE LATEST APPLICABLE EDITION OF THE APPLICABLE NATIONAL CODE, AND STATE, FEDERAL, COUNTY, OR LOCAL SUPPLEMENTS OR ADDITIONS. IN INSTANCES WHERE THE EXISTING AND THE NATIONAL CODE ARE IN CONFLICT, THE WORK SHALL BE INSTALLED AS PER THE REQUIREMENTS OF THE NATIONAL CODE.

SUBMITTALS:

- PRIOR TO THE BEGINNING OF WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR ENGINEER REVIEW AND APPROVAL THE FOLLOWING SUBMITTALS:
 - CONSTRUCTION PHASING PLAN - INCLUDE SEQUENCE OF CONSTRUCTION AND TIMELINES
 - HELICAL ANCHOR MATERIAL DATA
 - HELICAL ANCHOR DESIGN CALCULATIONS
 - HELICAL ANCHOR LAYOUT
 - HELICAL ANCHOR INSTALLATION EQUIPMENT AND METHODS
 - HELICAL ANCHOR INSTALLER CERTIFICATIONS AND EXPERIENCE
 - SHEET PILE MATERIAL DATA AND CERTIFICATIONS
 - SHEET PILE DESIGN AND LAYOUT
 - SHEET PILE INSTALLATION EQUIPMENT AND METHODS
 - STRUCTURAL STEEL MATERIAL DATA AND CERTIFICATIONS
 - FILL MATERIAL DATA
 - ALL SEALANTS (SILICONE OR OTHERWISE)
 - CONCRETE MIX DESIGN
 - TIMBER PILE DATA SHEETS
 - TIMBER PILE PRESERVATIVE TREATMENT DATA SHEETS
 - FIXED PIER MATERIAL DATA AND CONSTRUCTION PLANS
 - WALER, HP PILE, AND CONNECTION HARDWARE MATERIAL DATA
- REQUIRED FIELD TEST REPORTS INCLUDE THE FOLLOWING:
 - HELICAL ANCHOR PROOF TESTING DATA
 - HELICAL ANCHOR INSTALL TORQUE RECORDS
 - HELICAL ANCHOR FINAL LENGTH AND ANGLE RECORDS
 - SHEET PILE DRIVING RECORDS



NOTE: CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO MOBILIZATION. EXISTING SITE CONDITIONS TO BE VERIFIED, BUT ARE NOT LIMITED TO, DIMENSIONS, ELEVATIONS, STATIONING, AND MECHANICAL AND ELECTRICAL LOCATIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



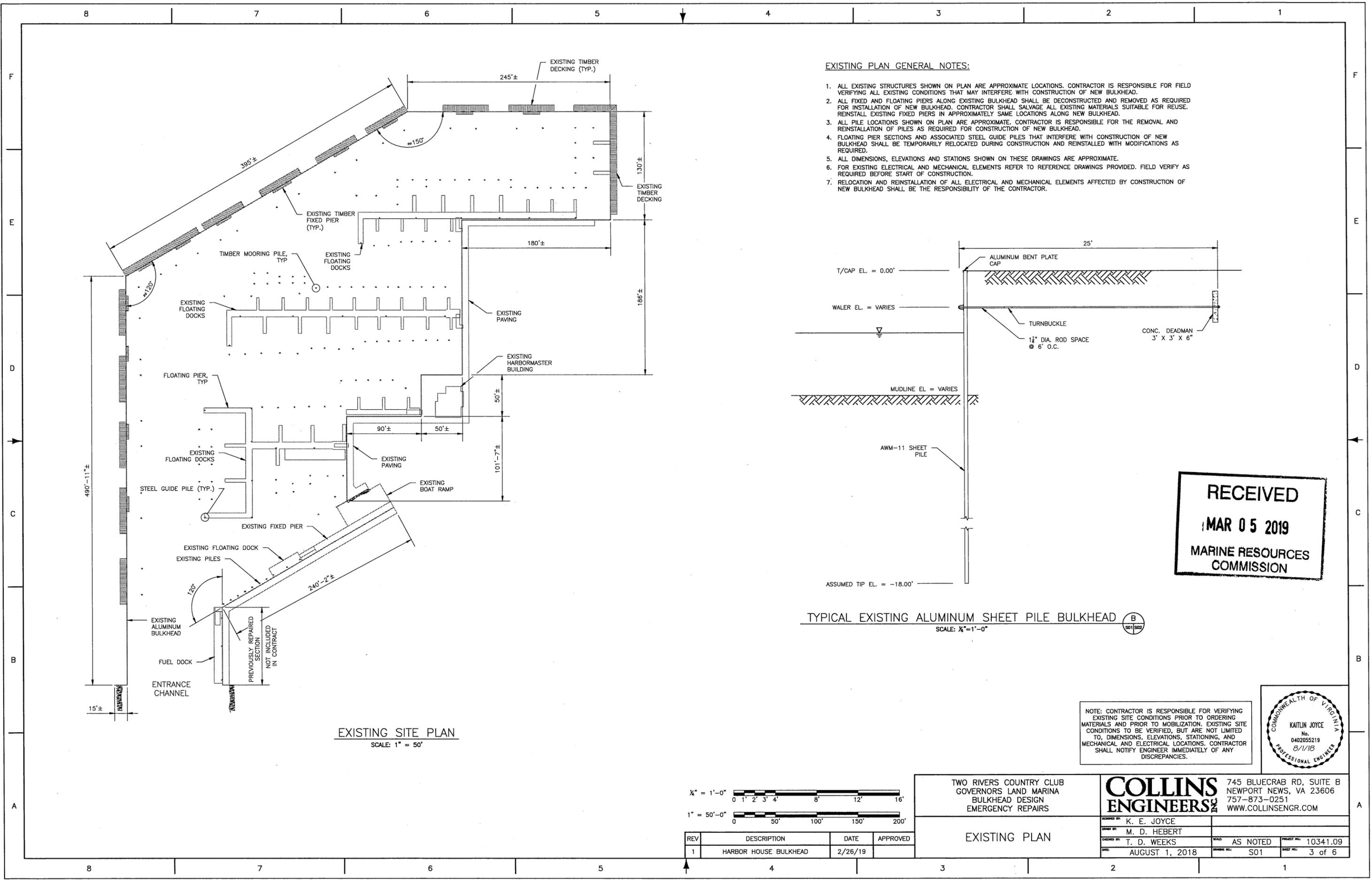
TWO RIVERS COUNTRY CLUB GOVERNORS LAND MARINA BULKHEAD DESIGN EMERGENCY REPAIRS		COLLINS ENGINEERS		745 BLUECRAB RD, SUITE B NEWPORT NEWS, VA 23606 757-873-0251 WWW.COLLINSENGR.COM	
DESIGNED BY	K. E. JOYCE	SCALE	AS NOTED	PROJECT NO.	10341.09
CHECKED BY	M. D. HEBERT	DRAWING NO.	GO1	SHEET NO.	2 of 6
DATE	AUGUST 1, 2018				

REV	DESCRIPTION	DATE	APPROVED
1	HARBOR HOUSE BULKHEAD	2/26/19	

GENERAL NOTES

8 7 6 5 4 3 2 1

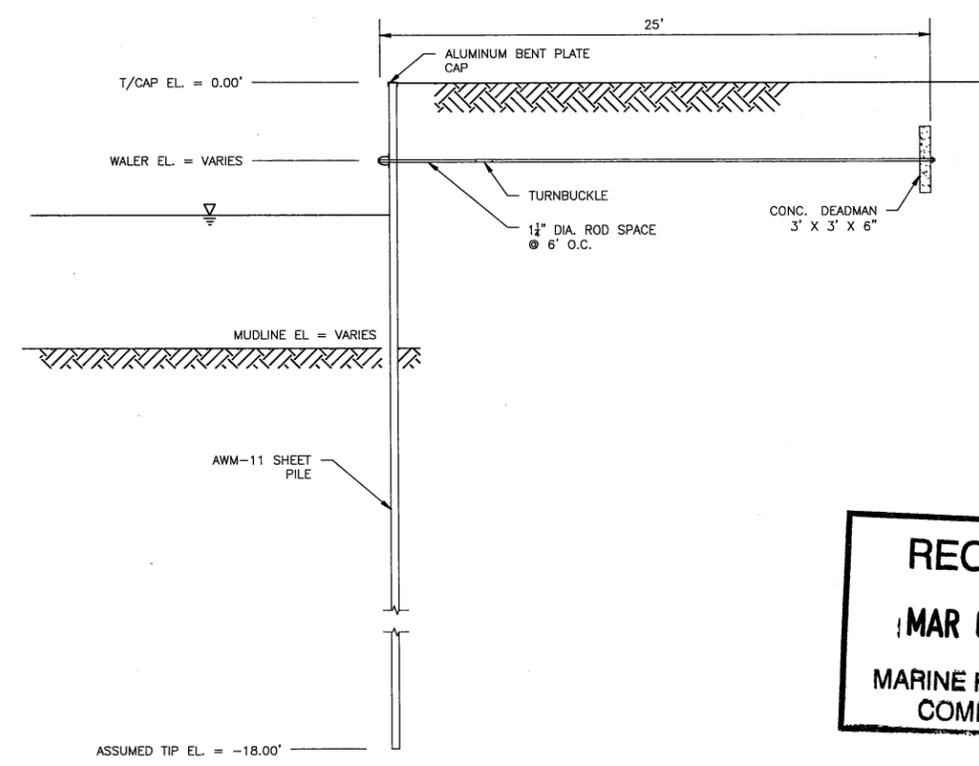
8 7 6 5 4 3 2 1



EXISTING SITE PLAN
SCALE: 1" = 50'

EXISTING PLAN GENERAL NOTES:

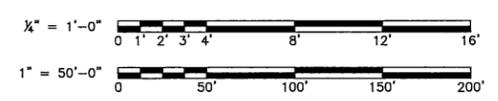
1. ALL EXISTING STRUCTURES SHOWN ON PLAN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS THAT MAY INTERFERE WITH CONSTRUCTION OF NEW BULKHEAD.
2. ALL FIXED AND FLOATING PIERS ALONG EXISTING BULKHEAD SHALL BE DECONSTRUCTED AND REMOVED AS REQUIRED FOR INSTALLATION OF NEW BULKHEAD. CONTRACTOR SHALL SALVAGE ALL EXISTING MATERIALS SUITABLE FOR REUSE. REINSTALL EXISTING FIXED PIERS IN APPROXIMATELY SAME LOCATIONS ALONG NEW BULKHEAD.
3. ALL PILE LOCATIONS SHOWN ON PLAN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF PILES AS REQUIRED FOR CONSTRUCTION OF NEW BULKHEAD.
4. FLOATING PIER SECTIONS AND ASSOCIATED STEEL GUIDE PILES THAT INTERFERE WITH CONSTRUCTION OF NEW BULKHEAD SHALL BE TEMPORARILY RELOCATED DURING CONSTRUCTION AND REINSTALLED WITH MODIFICATIONS AS REQUIRED.
5. ALL DIMENSIONS, ELEVATIONS AND STATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE.
6. FOR EXISTING ELECTRICAL AND MECHANICAL ELEMENTS REFER TO REFERENCE DRAWINGS PROVIDED. FIELD VERIFY AS REQUIRED BEFORE START OF CONSTRUCTION.
7. RELOCATION AND REINSTALLATION OF ALL ELECTRICAL AND MECHANICAL ELEMENTS AFFECTED BY CONSTRUCTION OF NEW BULKHEAD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



TYPICAL EXISTING ALUMINUM SHEET PILE BULKHEAD
SCALE: 1/4" = 1'-0"

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COMMISSION

NOTE: CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO MOBILIZATION. EXISTING SITE CONDITIONS TO BE VERIFIED, BUT ARE NOT LIMITED TO, DIMENSIONS, ELEVATIONS, STATIONING, AND MECHANICAL AND ELECTRICAL LOCATIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



TWO RIVERS COUNTRY CLUB
GOVERNORS LAND MARINA
BULKHEAD DESIGN
EMERGENCY REPAIRS

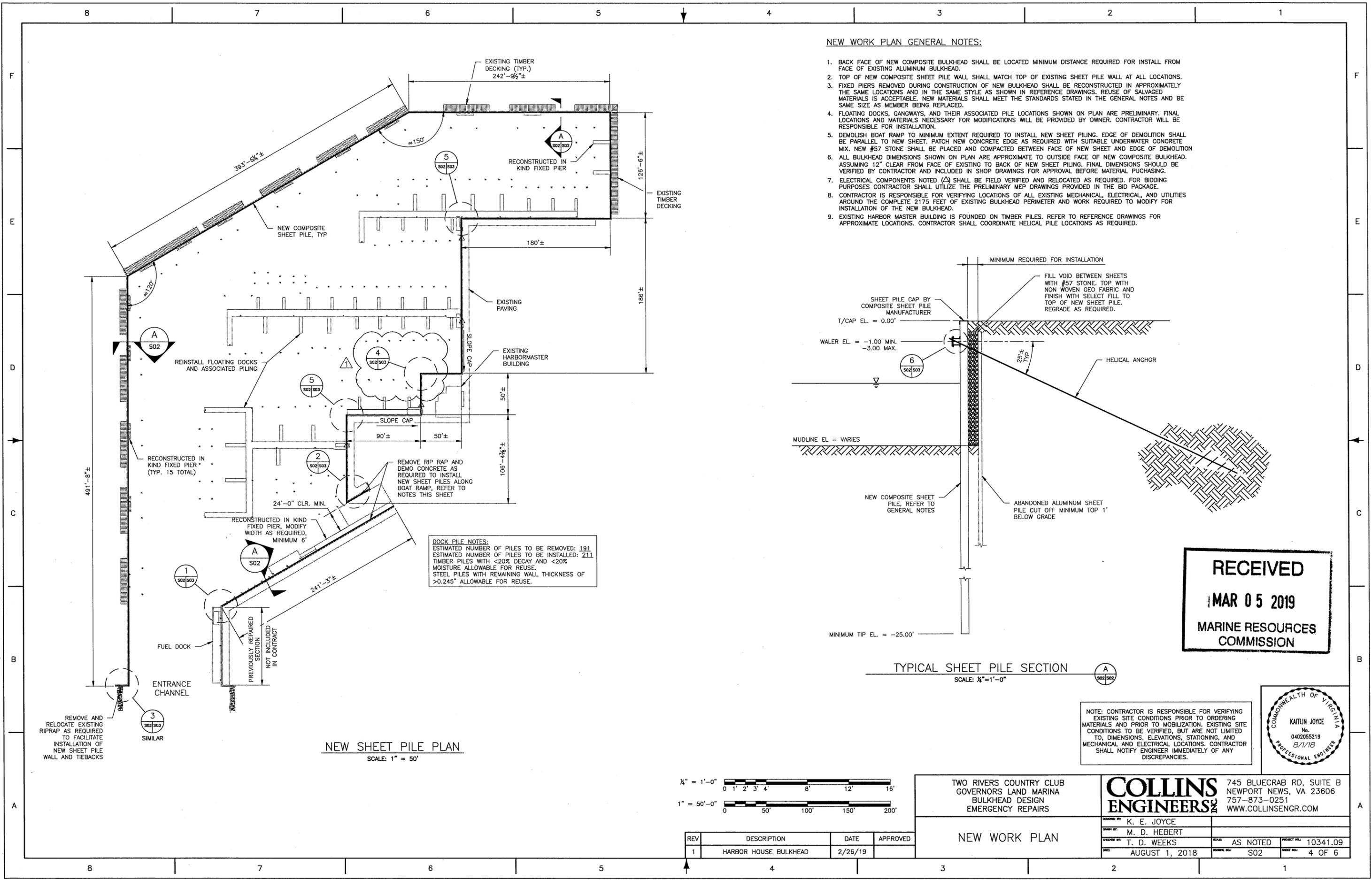
COLLINS ENGINEERS

745 BLUECRAB RD, SUITE B
NEWPORT NEWS, VA 23606
757-873-0251
WWW.COLLINSENGR.COM

EXISTING PLAN

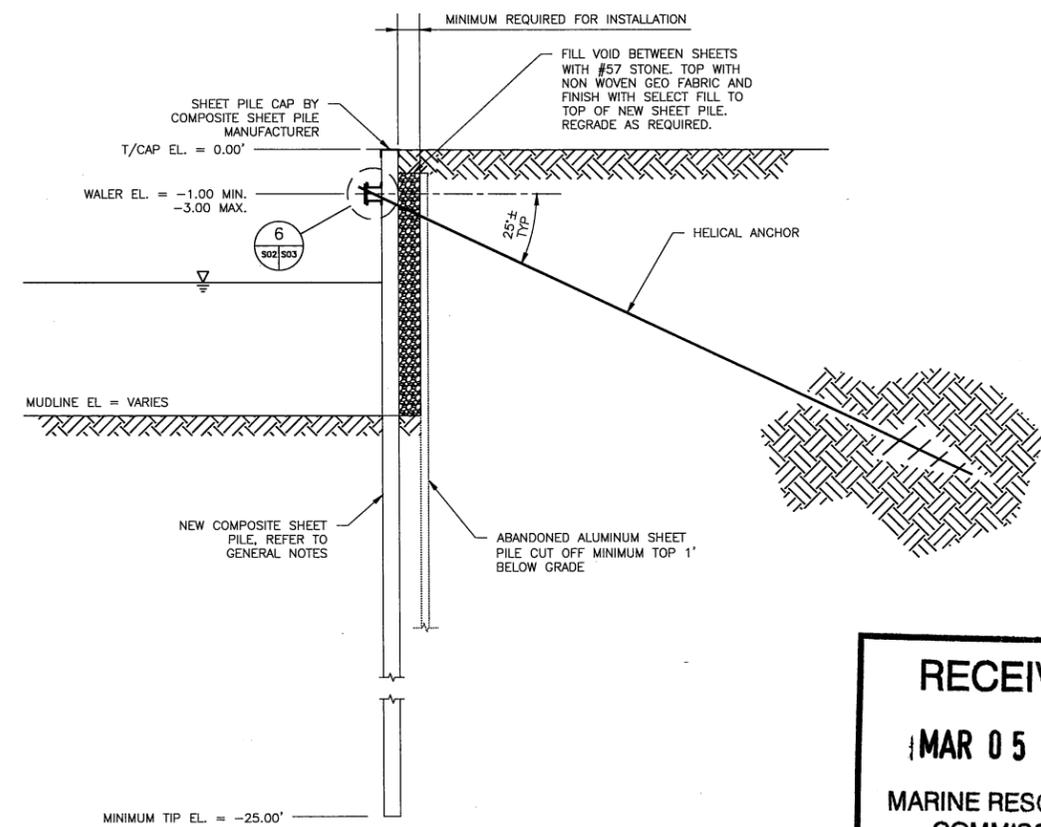
REV	DESCRIPTION	DATE	APPROVED
1	HARBOR HOUSE BULKHEAD	2/26/19	

DESIGNED BY: K. E. JOYCE	SCALE: AS NOTED	PROJECT NO.: 10341.09
CHECKED BY: M. D. HEBERT	DRAWING NO.: S01	SHEET NO.: 3 of 6
CHECKED BY: T. D. WEEKS	DATE: AUGUST 1, 2018	



NEW WORK PLAN GENERAL NOTES:

1. BACK FACE OF NEW COMPOSITE BULKHEAD SHALL BE LOCATED MINIMUM DISTANCE REQUIRED FOR INSTALL FROM FACE OF EXISTING ALUMINUM BULKHEAD.
2. TOP OF NEW COMPOSITE SHEET PILE WALL SHALL MATCH TOP OF EXISTING SHEET PILE WALL AT ALL LOCATIONS.
3. FIXED PIERS REMOVED DURING CONSTRUCTION OF NEW BULKHEAD SHALL BE RECONSTRUCTED IN APPROXIMATELY THE SAME LOCATIONS AND IN THE SAME STYLE AS SHOWN IN REFERENCE DRAWINGS. REUSE OF SALVAGED MATERIALS IS ACCEPTABLE. NEW MATERIALS SHALL MEET THE STANDARDS STATED IN THE GENERAL NOTES AND BE SAME SIZE AS MEMBER BEING REPLACED.
4. FLOATING DOCKS, GANGWAYS, AND THEIR ASSOCIATED PILE LOCATIONS SHOWN ON PLAN ARE PRELIMINARY. FINAL LOCATIONS AND MATERIALS NECESSARY FOR MODIFICATIONS WILL BE PROVIDED BY OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION.
5. DEMOLISH BOAT RAMP TO MINIMUM EXTENT REQUIRED TO INSTALL NEW SHEET PILING. EDGE OF DEMOLITION SHALL BE PARALLEL TO NEW SHEET. PATCH NEW CONCRETE EDGE AS REQUIRED WITH SUITABLE UNDERWATER CONCRETE MIX. NEW #57 STONE SHALL BE PLACED AND COMPACTED BETWEEN FACE OF NEW SHEET AND EDGE OF DEMOLITION.
6. ALL BULKHEAD DIMENSIONS SHOWN ON PLAN ARE APPROXIMATE TO OUTSIDE FACE OF NEW COMPOSITE BULKHEAD. ASSUMING 12" CLEAR FROM FACE OF EXISTING TO BACK OF NEW SHEET PILING. FINAL DIMENSIONS SHOULD BE VERIFIED BY CONTRACTOR AND INCLUDED IN SHOP DRAWINGS FOR APPROVAL BEFORE MATERIAL PURCHASING.
7. ELECTRICAL COMPONENTS NOTED (Δ) SHALL BE FIELD VERIFIED AND RELOCATED AS REQUIRED. FOR BIDDING PURPOSES CONTRACTOR SHALL UTILIZE THE PRELIMINARY MEP DRAWINGS PROVIDED IN THE BID PACKAGE.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL EXISTING MECHANICAL, ELECTRICAL, AND UTILITIES AROUND THE COMPLETE 2175 FEET OF EXISTING BULKHEAD PERIMETER AND WORK REQUIRED TO MODIFY FOR INSTALLATION OF THE NEW BULKHEAD.
9. EXISTING HARBOR MASTER BUILDING IS FOUNDED ON TIMBER PILES. REFER TO REFERENCE DRAWINGS FOR APPROXIMATE LOCATIONS. CONTRACTOR SHALL COORDINATE HELICAL PILE LOCATIONS AS REQUIRED.

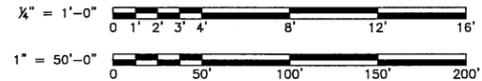


TYPICAL SHEET PILE SECTION
SCALE: 1/4" = 1'-0"

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DOCK PILE NOTES:
ESTIMATED NUMBER OF PILES TO BE REMOVED: 191
ESTIMATED NUMBER OF PILES TO BE INSTALLED: 211
TIMBER PILES WITH <20% DECAY AND <20% MOISTURE ALLOWABLE FOR REUSE.
STEEL PILES WITH REMAINING WALL THICKNESS OF >0.245" ALLOWABLE FOR REUSE.

NOTE: CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS PRIOR TO ORDERING MATERIALS AND PRIOR TO MOBILIZATION. EXISTING SITE CONDITIONS TO BE VERIFIED, BUT ARE NOT LIMITED TO, DIMENSIONS, ELEVATIONS, STATIONING, AND MECHANICAL AND ELECTRICAL LOCATIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.



TWO RIVERS COUNTRY CLUB
GOVERNORS LAND MARINA
BULKHEAD DESIGN
EMERGENCY REPAIRS

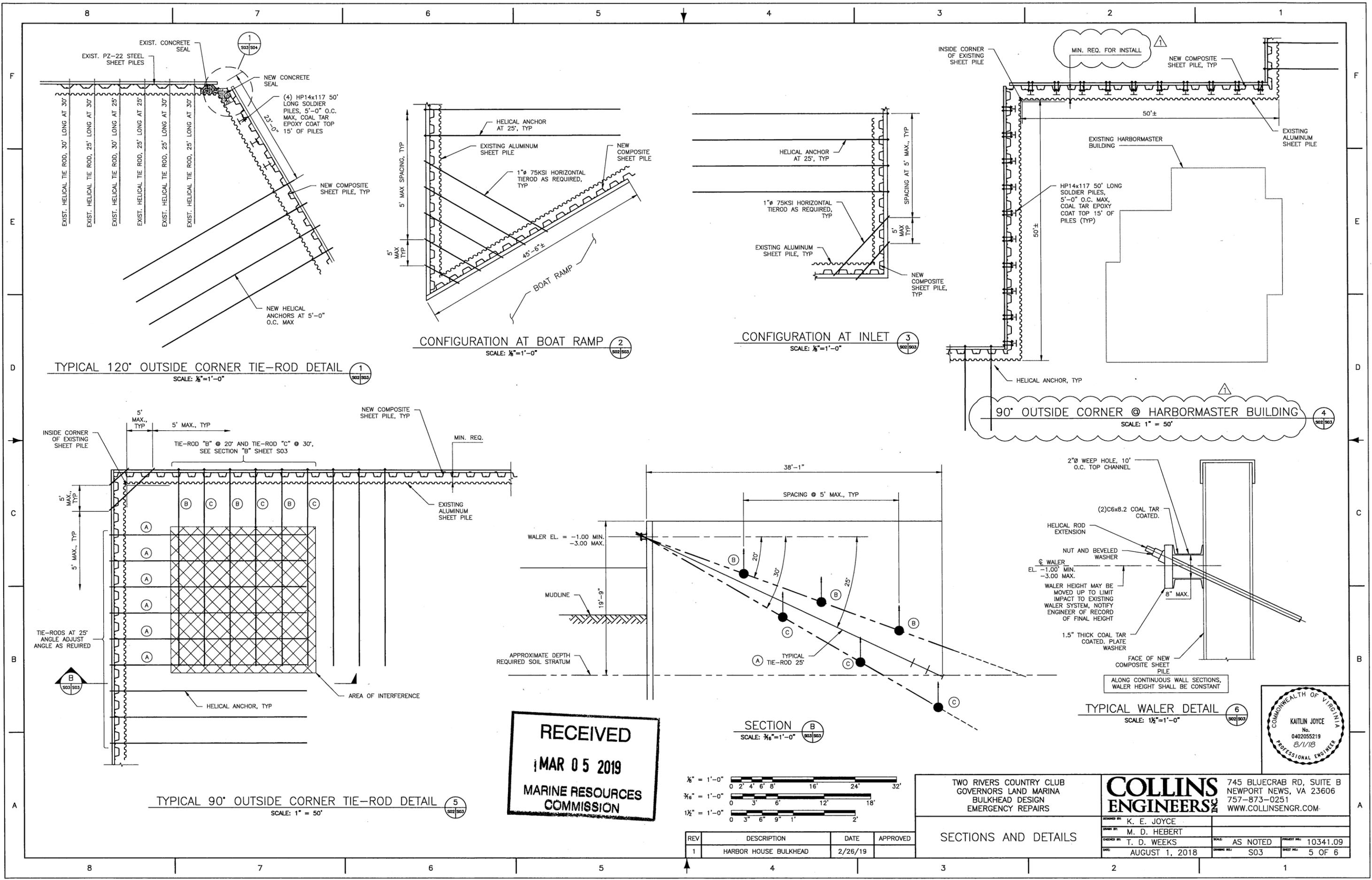
COLLINS ENGINEERS

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757-873-0251
WWW.COLLINSENGR.COM

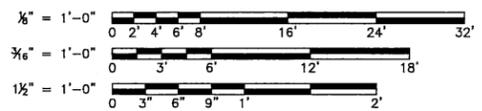
NEW WORK PLAN

REV	DESCRIPTION	DATE	APPROVED
1	HARBOR HOUSE BULKHEAD	2/26/19	

DESIGNED BY: K. E. JOYCE	SCALE: AS NOTED	PROJECT NO.: 10341.09
DRAWN BY: M. D. HEBERT		
CHECKED BY: T. D. WEEKS		
DATE: AUGUST 1, 2018	DRAWING NO.: S02	SHEET NO.: 4 OF 6

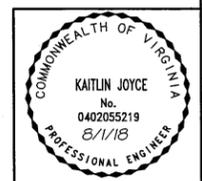


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MARINE RESOURCES
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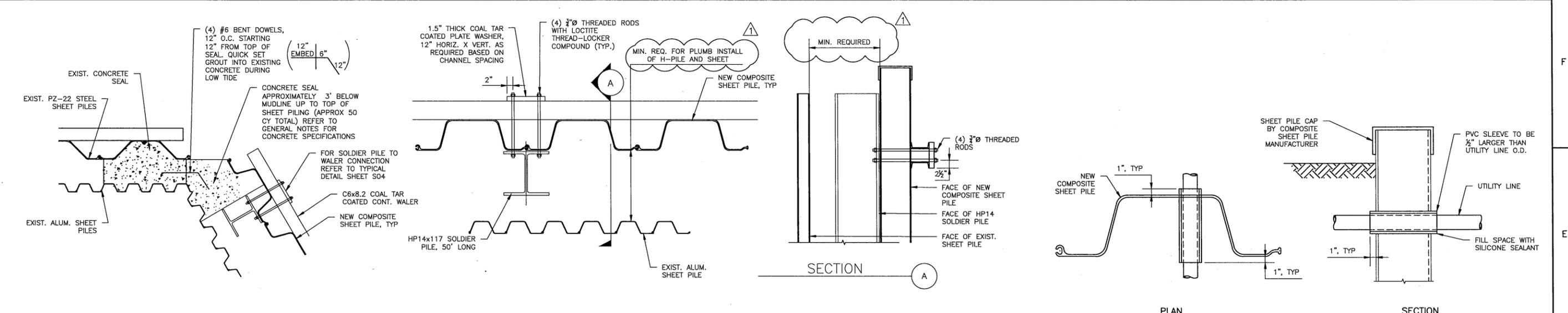
SECTIONS AND DETAILS			
REV	DESCRIPTION	DATE	APPROVED
1	HARBOR HOUSE BULKHEAD	2/26/19	

TWO RIVERS COUNTRY CLUB GOVERNORS LAND MARINA BULKHEAD DESIGN EMERGENCY REPAIRS		COLLINS ENGINEERS	
DESIGNED BY: K. E. JOYCE	DRWN BY: M. D. HEBERT	SCALE: AS NOTED	PROJECT NO.: 10341.09
CHECKED BY: T. D. WEEKS	DATE: AUGUST 1, 2018	DWG. NO.: S03	SHEET NO.: 5 OF 6

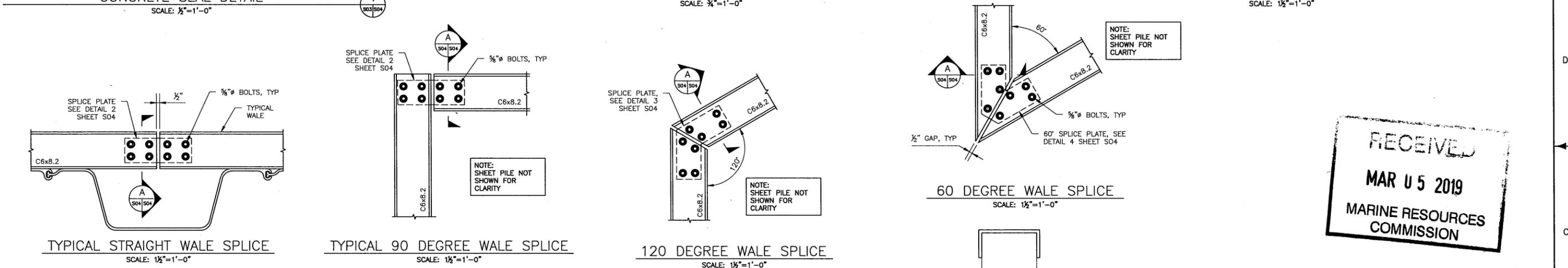


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 757-873-0251
 WWW.COLLINSENGR.COM

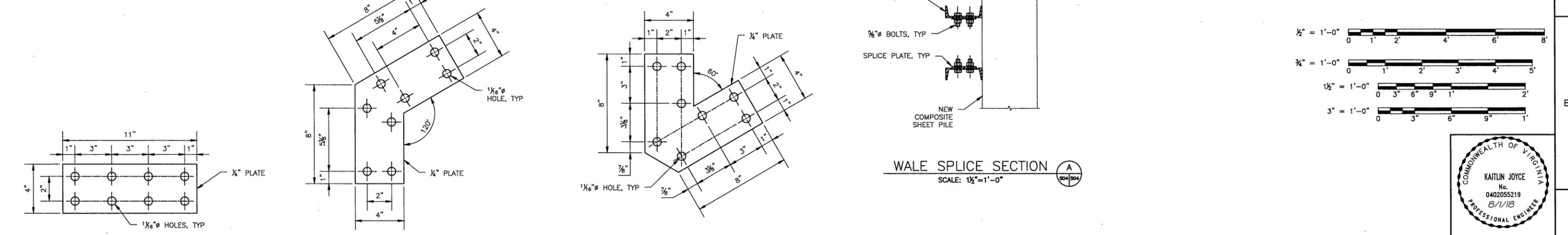
8 7 6 5 4 3 2 1



CONCRETE SEAL DETAIL TYPICAL SOLDIER PILE TO WALER CONNECTION DETAIL TYPICAL UTILITY PENETRATIONS

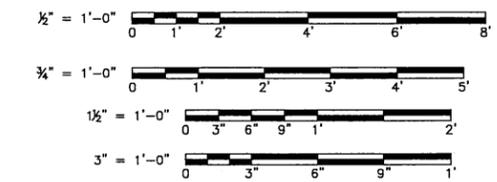


TYPICAL STRAIGHT WALE SPLICE TYPICAL 90 DEGREE WALE SPLICE 120 DEGREE WALE SPLICE 60 DEGREE WALE SPLICE



SPlice PLATE 120° SPlice PLATE 60° WALE SPLICE SECTION

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MAR 05 2019
MARINE RESOURCES
COMMISSION



COMMONWEALTH OF VIRGINIA
KAITLIN JOYCE
No. 0402055219
8/1/18
PROFESSIONAL ENGINEER

TWO RIVERS COUNTRY CLUB GOVERNORS LAND MARINA BULKHEAD DESIGN EMERGENCY REPAIRS		COLLINS ENGINEERS 745 BLUECRAB RD, SUITE B NEWPORT NEWS, VA 23606 757-873-0251 WWW.COLLINSENGR.COM	
DESIGNED BY: K. E. JOYCE	CHECKED BY: M. D. HEBERT	SCALE: AS NOTED	PROJECT NO.: 10341.09
DATE: AUGUST 1, 2018	DRAWING NO.: S04	SHEET NO.: 6 OF 6	

REV	DESCRIPTION	DATE	APPROVED
1	HARBOR HOUSE BULKHEAD	2/26/19	

SECTIONS AND DETAILS

8 7 6 5 4 3 2 1



PUBLIC HEARING NOTICE

THE WETLANDS AND CHESAPEAKE BAY BOARDS OF JAMES CITY COUNTY, VIRGINIA WILL HOLD A PUBLIC HEARING ON **WEDNESDAY, APRIL 10, 2019, AT 5 P.M.** IN THE BOARD ROOM OF BUILDING F, 101 MOUNTS BAY ROAD, JAMES CITY COUNTY, VIRGINIA.

THE WETLANDS BOARD WILL CONSIDER THE FOLLOWING CASE:

WJPA 19-0011/VMRC 19-0033: The Governors Land Foundation has applied for a wetland permit to perform an emergency bulkhead repair at 1636 Harbor Rd, JCC Parcel No. 4320700001A.

THE CHESAPEAKE BAY BOARD WILL CONSIDER THE FOLLOWING CASES:

CBPA 19-0016: Mr. Jim Duguay, Performance Contracting, has filed an exception request for encroachment into the RPA buffer for the construction of two decks at 4107 S Riverside Dr, JCC Parcel No 1910900003A.

CBPA 19-0028: Mr. Mo Bloxom, Southern Landscaping & Construction, Inc., has filed an exception request for encroachment into the RPA buffer for the construction of a retaining wall at 117 Godspeed Ln, JCC Parcel No. 4730500035.

CBPA-19-0026: Mr. Carl Story, Williamsburg Landing Inc., has filed an exception request for encroachment into the RPA buffer for the construction of a new deck at 3017 Spotswood Cay, JCC Parcel No. 4820100002.

CBPA-19-0023: Mr. Kyle Polk, The Structures Group, has filed an exception request for encroachment into the RPA buffer for the replacement of a single family dwelling at 573 Forest Lake Rd, JCC Parcel No. 0930100002C.

All interested parties are invited to attend the meetings. The applications and plans are on file and may be viewed during normal office hours in the Stormwater and Resource Protection Division, 101 Mounts Bay Road, Building E, James City County, Virginia.

NOT FOR PUBLICATION

DISPLAY: WEDNESDAY – March 27, 2019 and April 3, 2019.
ACCOUNT NO.: 0011350200 - VIRGINIA GAZETTE

COPIES: PLANNING

GENERAL SERVICES
ASSISTANT COUNTY ATTORNEY
WETLAND/CHESAPEAKE BAY BOARD MEMBERS



**General Services
Stormwater and Resource
Protection Division**
101-E Mounts Bay Road
Williamsburg, VA 23185
757-253-6790

Resource.Protection@jamescitycountyva.gov

March 20, 2019

RE: WJPA-19-0011
1636 Harbor Road
Governor's Land Marina Bulkhead Emergency Repair and Replacement

Dear Adjacent Property Owner:

In accordance with State and County Codes, this letter is to notify you that a request has been filed with the James City County Wetlands Board by Lisa Smith with The Governor's Land Foundation, Inc. for impacts to wetlands associated with construction of a bulkhead repair and replacement. The project is located at 1636 Harbor Road and further identified as JCC Parcel No. 4320700001A.

A complete description, plan and other information are on file in the Stormwater and Resource Protection Division and are available for inspection during normal business hours, should anyone desire to review them.

The Wetlands Board will hold an advertised public hearing on **Wednesday, April 10, 2019 at 5:00 p.m.**, in the Board Room of Building F, 101 Mounts Bay Road, James City County, Virginia, at which time you may request to speak on the above referenced project.

Sincerely,

Janice Petty

Janice Petty
Stormwater Assistant

cc: WWH Enterprise, Inc., Attn: Wallace Hayden
Two Rivers Country Club

Mailing List for: WJPA-19-0011 – 1636 Harbor Road – Governor’s Land Foundation – Governor’s Land Marina Bulkhead Emergency Repair and Replacement

Applicant: 4320700001A-1636 Harbor Road
Governor’s Land Foundation
1400 Two Rivers Road
Williamsburg, VA 23185-7685

Governor’s Land Foundation
Attn: Lisa Smith
2700 Two Rivers Rd
Williamsburg, VA 23185-7600

The Structures Group.
Attn: Kyle J Polk
1200 Old Colony Lane
Williamsburg, VA 23185

Two Rivers Country Club
1900 Estates Drive
Lanexa, VA 23089-5836

Collins Engineers, Inc.
Attn: K.E. Joyce
745 Bluecrab Road
Newport News, VA 23606

4310200013 – 1556 Harbor Road
Schultz, Daniel C & Laura Lee
P.O. Box 432
Milford, CT 06460-0432

4310200014 – 1560 Harbor Road
Donohue, William J & Diane M
P.O. Box 79
Butler, MD 21023-0079

4310200015
Whitwell, Joan E, Trustee
1564 Harbor Road
Williamsburg, VA 23185-7630

4310200016 – 1568 Harbor Road
Thompson, Robert Clay, Trustee & Bettyann B,
Trustee
530 Ocean Drive, Apartment 301
Juno Beach, FL 33408-1947

4310200017

Contractor: 432070001A – 1636 Harbor Road
WWH Enterprises
Attn: Wallace Hayden
14912 Laurel Point Lane
Spotsylvania, VA 22551

Pierson, Michael W, Trustee & Elaine
1572 Harbor Road
Williamsburg, VA 23185-7630

4310200018
Maynor, Brenda S & Garry R
1576 Harbor Road
Williamsburg, VA 23185-7630

4310200019
Wilkinson, Thomas A, III, Trustee & Mary D, Trustee
1580 Harbor Road
Williamsburg, VA 23185-7630

4310200020
Trumble, Robert R & Ann H
1584 Harbor Road
Williamsburg, VA 23185-7630

4310200021
Smith, George W, Trustee & Beth S, Trustee
1588 Harbor Road
Williamsburg, VA 23185-7630

4310200022
Trickey, David J & Grivat, Sandi
1592 Harbor Road
Williamsburg, VA 23185-7630

4310200023
Murphie, Mary Ann, Trustee & Robert A, Trustee
1596 Harbor Road
Williamsburg, VA 23185-7630

4320700024
Morris-Hipkins, Stuart R & Nichola J
1600 Harbor Road
Williamsburg, VA 23188-7632

4320700025
Huddleston, Thomas B & Sarah E
1604 Harbor Road
Williamsburg, VA 23185-7632

4320700026

Peters, Charles D & Ellen B
1608 Harbor Road
Williamsburg, VA 23185-7632

4320700028

Webb, J Richard & Judith P
1616 Harbor Road
Williamsburg, VA 23185-7632

4320700027

Nichols, Sterling M & Dorothy P
1612 Harbor Road
Williamsburg, VA 23185-7632

4320700029

McLennan, Barbara N Trustee
1620 Harbor Road
Williamsburg, VA 23185-7632

VMRC

Attn: Allison Norris
380 Fenwick Road, Building 96
Fort Monroe, VA 23651

VIMS Wetlands Program

Attn: Dawn Fleming
P.O. Box 1346
Gloucester Point, VA 23062

VDOT

4451 Ironbound Road
Williamsburg, VA 23188

Dept of Game and Inland Fisheries
Box 90778
Henrico, VA 23228-0778

State Water Control Board

c/o Dept of Environmental Quality
P O Box 1105
Richmond, VA 23218

Regulatory Branch Army Corps of Engineers

803 Front Street
Norfolk, VA 23510

#